

Your Ref

In reply please quote
LIM0247/21

If calling, please ask for
Melissa Muir



Postal Address
Private Bag 544, Ngaruawahia 3742
New Zealand

0800 492 452
www.waikatodistrict.govt.nz

27 August 2020

D M Vickers
65 Catley Road
RD 2
Taupiri 3792

Dear Debbie

LAND INFORMATION MEMORANDUM

Please find enclosed your Land Information Memorandum for 65 Catley Road ORINI

If you have any queries please do not hesitate to contact me.

Yours faithfully

A handwritten signature in blue ink, appearing to read "Melissa Muir". The signature is fluid and cursive, with the first name "Melissa" written in a larger, more prominent script than the surname "Muir".

Melissa Muir
Land Information Officer

Land Information Memorandum



65 Catley Road ORINI
LOT 2 DPS 77565

Land Information

Memorandum

In reply please quote: LIM0247/21
If calling, please ask for: Melissa Muir

LOCAL GOVERNMENT OFFICIAL INFORMATION AND MEETINGS ACT 1987

The information supplied in this Land Information Memorandum is based on existing Waikato District Council records that may not be complete. The property has not been inspected or surveyed by the Council. It is the purchaser's responsibility to check the boundaries of the property.

It is assumed that any purchaser will search the certificate of title that is not held by the Council and will personally inspect the property and its surrounds. This information deals solely with the property named below, and does not disclose any relevant information that may affect adjacent properties.

It is the sole responsibility of any purchaser to ensure that the land is suitable for a particular purpose.

► Property Details:

Valuation Reference:	04414/067.01
Legal Description:	LOT 2 DPS 77565
Area:	1.004 Hectares more or less
Property Location:	65 Catley Road ORINI
Owners:	Debbie Maree Vickers, Craig James Moore

► Property Location:



Information regarding –
44A(2)
(c) information relating to any rates owing in relation to the land

► Rates & Rating Valuation:

Information regarding –
44A(2)(c) information relating to any rates owing in relation to the land

Annual rates for 2018/2019	\$ 2,085.52	Balance Owing: \$ 0.00 (Balance of 1st instalment due 21 September 2020)
Value of Improvements	\$ 340,000.00	
Land Value	\$ 310,000.00	
Capital Value	\$ 650,000.00	
Date of Valuation	1 July 2017	

Valuation

Properties in the Waikato District are re-valued every three years in accordance with the Rating and Valuations Act 1988.

Rates and 2014 and 2017 valuations can be viewed online using the Rating Information Database (RID) available on the Waikato District Council website at <https://www.waikatodistrict.govt.nz/>

Current Rates

A copy of the current 2019/2020 rates assessment is attached. The 2020/2021 rates are based on the valuations dated 1 July 2017.

A new part fee and charge will apply for those ratepayers that connect to specific council services after 1 July. These changes will mean that anyone that builds a new dwelling after 1 July will pay for the services their property receives (e.g. waste water, storm water, rubbish) through fees and charges, rather than rates, until rates are struck on their property in the following financial year. You will receive an invoice from Council following granting of your Code Compliance Certificate (CCC). Rates are only struck once a year.

<https://www.waikatodistrict.govt.nz/your-council/fees-and-charges>

If you have any queries with regards to the 2019/2020 rates, please contact a member of the rating team on 0800 492 452 or e-mail rates@waidc.govt.nz.

Rates Capital Value

Please note that the rates reflected on this LIM were calculated based on the capital value of the property as at 1 July of the current rating year. Any changes to the capital value of the property that have taken place since 1 July will be reflected in the rating charges for this property in the next rating year. Please contact a member of the rating team on 0800 492 452 if you require further clarification or have any questions.

Information regarding –
44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use;
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose;
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

Under the Waikato District Plan the property is within the:

- Rural Zone
- Waikato River Catchment Policy Area

Please refer to the Waikato District Plan or speak to a duty planner regarding specific requirements for development on properties within these areas.

Proposed District Plan

Waikato District Council has notified a new Proposed District Plan which applies to the entire Waikato District, including the land which is the subject of this LIM report. The Proposed District Plan has been notified in two stages. Stage 1 covered all topics other than natural hazards and the impacts of climate change which are covered by Stage 2 and Variation 2.

Council's website contains information on the Proposed District Plan relevant to the land which is the subject of this LIM report. You can view this information on Council's website
<<https://www.waikatodistrict.govt.nz/pdp>>

The Proposed Planning Map for this property for Stage 1 is included in this LIM.

Operative District Plan

For further information please refer to the planning maps attached and the Waikato District Plan, which is available to view on our website: <<https://www.waikatodistrict.govt.nz>>

Development Contributions

- Builders, developers and owners cannot presume that all development contributions have been paid at the time of subdivision.
- The link to the current Development Contributions Policy is;
<https://www.waikatodistrict.govt.nz/your-council/fees-and-charges/development-contributions>
- For any queries on specific properties please email DevelopmentContributions@waidec.govt.nz providing the specific property number and/or property address

Development contributions policies, capital works schedules, catchments and levies are subject to review and change.

Credits are given for any development contributions paid at the time of subdivision but additional development contributions may be required at time of building consent or service connection.

■ Planning Continued

Information regarding –

44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use:
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose:
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

For any restrictions of the use of the property please refer to the Record/Certificate of Title.

- A **Consent Notice** exists for this property and is attached for your information.

► Resource Consents:

Application No	Description	Decision
70 97 131	SUBDIVISION CONSENT Create 1 rural house lot	GRANTED 13 February 1997

Requisitions: No known planning requisitions to date.

Planning rules relating to this property are contained in the Waikato District Plan and are not outlined in this LIM report. The Waikato District Plan is available to view on Council's website at www.waikatodc.govt.nz.

Information regarding –
44A(2)

- (d) information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act):
- (e) information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004:
- (ea) information notified to the territorial authority under section 124 of the Weathertight Homes Resolution Services Act 2006:

It is recommended that a potential purchaser engage a building consultant to complete a pre-purchase inspection of buildings. Irrespective of code of compliance, structures are subject to deterioration over time and works may have been undertaken without building consent. If requested and supplied, a copy of this may be filed on council records for future references and Land Information Memoranda.

Architects and designers require wind & earthquake information to establish bracing requirements for building development.

► Building Consents/Permits:

Number	Description	Consent/Permit issued date	CCC Issued/ Completed Date
89269	Dwelling	26 November 1997	09 March 1998
BLD0293/18	Garage	03 October 2017	06 June 2019
BLD0593/18	Archgola	07 December 2017	07 November 2018

Requisitions: No known building requisitions to date.

■ Water Supply

Information regarding –

44A(2)

- (ba) any information that has been notified to the territorial authority by a drinking-water supplier under section 69ZH of the Health Act 1956:
- (bb) information on—
 - (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier:
 - (ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply:
 - (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply:

The property is located outside an area currently served by a community water supply administered by Waikato District Council.

■ Drinking Water (potable water supply)

The property is not connected to a community water supply. It is the property owner's responsibility to ensure suitable drinking water is supplied on-site.

The construction of a bore for the taking of ground water requires consent from the Waikato Regional Council, for further information contact Waikato Regional Council.

Information regarding –

44A(2)

(b) information on private and public stormwater and sewerage drains as shown in the territorial authority's records:

■ Wastewater

The property is located outside an area currently served by a community system for wastewater disposal.

On-site wastewater disposal must comply with the Waikato Regional Plan and the AS/NZS standard for On-site Domestic Wastewater Management. New on-site effluent disposal systems must be designed and certified by an engineer or suitably qualified person.

Existing system - No AS-LAID Plan

There are no records as to the size or location of an existing on-site wastewater disposal system. Wastewater Disposal Systems are sized in relation to the number of bedrooms of a dwelling and the potential occupancy. Assessment of the existing system will be required for future building works that includes additional bedrooms.

The system must be adequately designed to treat and dispose of potential increased loadings. If upgrades are required, these must be designed, supervised and certified by an engineer or other suitably qualified person to comply with AS/NZS 1547:2012 and the Waikato Regional Plan. It is recommended that potential purchasers engage a contractor to inspect the septic tank and prior to settlement.

The Waikato District Council does not maintain or monitor private wastewater disposal systems and NZ standards indicate a septic tank should be cleaned/ emptied every 3 years.

■ Stormwater

The property is located within a land drainage area administered by the Waikato Regional Council. For further information contact Waikato Regional Council.

For any new development, Onsite Stormwater Disposal will be required under the Waikato District Plan & Waikato Regional Plan prior to connection to any public stormwater network or drains.

For further Information please contact a Project Planning & Engineering Officer at the Waikato District Council.

■ Natural Hazards

Information regarding –

44A(2)

- (a) information identifying each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants, being a feature or characteristic that—
 - (i) is known to the territorial authority; but
 - (ii) is not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the [Resource Management Act 1991](#);

For further information on natural hazards that may affect this property please visit the Waikato Regional Hazards Portal at waikatoregion.govt.nz/regional-hazards-portal. If you have any questions on the content of the portal or require further information, please contact the Regional Resilience Team at Waikato Regional Council using the [online request form](#) or via phone on 0800 800 401.

LRI (Us and Peat)

New Zealand Land Resource Inventory Maps indicate that the soils in this area may have poor bearing capacity for building foundations due to **Unconsolidated Sediments and Peat**

Peat soils may be subject to settlement/expansion with fluctuating ground water levels.

A geotechnical engineer may be required to investigate ground or sub-soil conditions to establish any specific requirements for building development.

Under section 71-74 of the Building Act 2004, upon application for a building consent applicants must demonstrate that any proposed building work will be protected from hazards.

■ Additional Information

Information regarding –

44A(3) In addition to the information provided for under subsection (2), a territorial authority may provide in the memorandum such other information concerning the land as the authority considers, at its discretion, to be relevant.

■ Health

There are no outstanding Notices or Orders under the Health Act 1956 and related legislation in respect of the property.

■ Refuse

Waikato District Council's goal is to work towards a 'zero waste' target. On 1 July 2016 we introduced a pre-paid service to our refuse and recycling to help Waikato residents reduce the volume of waste they send to landfill. Less waste will save us all more in the long-run.

Refuse & Recycling Service Collection day for this property is **Wednesday**

For further information please see <https://www.waikatodistrict.govt.nz/services-facilities/refuse-and-recycling>

The property is on a domestic refuse collection route. For further information please contact the Council's Community Assets Operations Manager.

■ Utilities

The Waikato District Council does not hold records concerning utility systems it does not administer. For information concerning state highways (administered by NZ Transport Agency), electricity, telephone or gas, the relevant network operator should be contacted.

■ Telecommunication

This property may not have a physical connection to a telecommunications network.

Developer obligations are to demonstrate that a telecommunication network is available to serve the property, such network can be either physical or wireless.

Please contact the network utility supplier to confirm what telecommunication connection is available to the property.

Yours faithfully



Melissa Muir
Land Information Officer

Rates Information Database

Property details

Property location	65 Catley Road ORINI
Valuation number	04414/067.01
Legal description	LOT 2 DPS 77565

Property valuation

Capital value	\$650,000.00
Land value	\$310,000.00
Improvement value	\$340,000.00
Effective from	1 Jul 2019

Property apportionment(s)

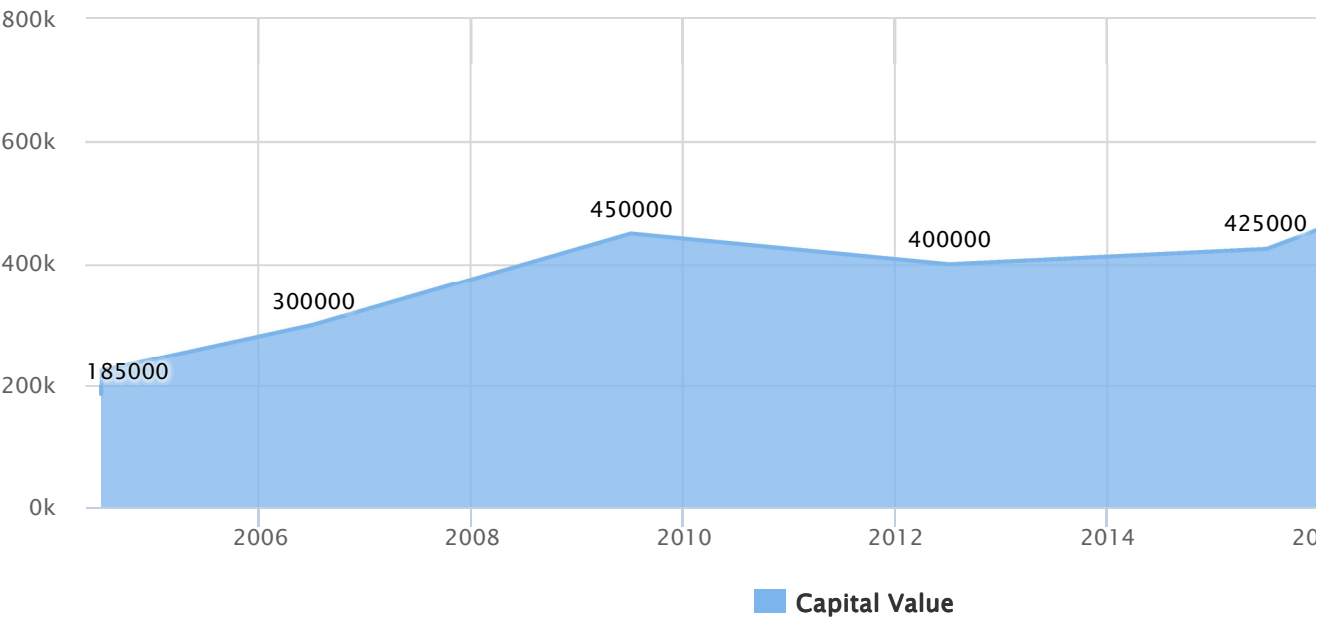
Area	1.00 ha (2.481 acre/10040 m ²)
Tenure code	Property is not leased. Owner is also occupier
Ownership code	Private: Individual
Rateability code	Rateable
Rating division	Std Property - Not Applicable, ie Not an apportionment
Land use	Lifestyle - Single unit
Land use zone	Rural
Property category	LI199B
Nature of improvement	DWG OB FG OI

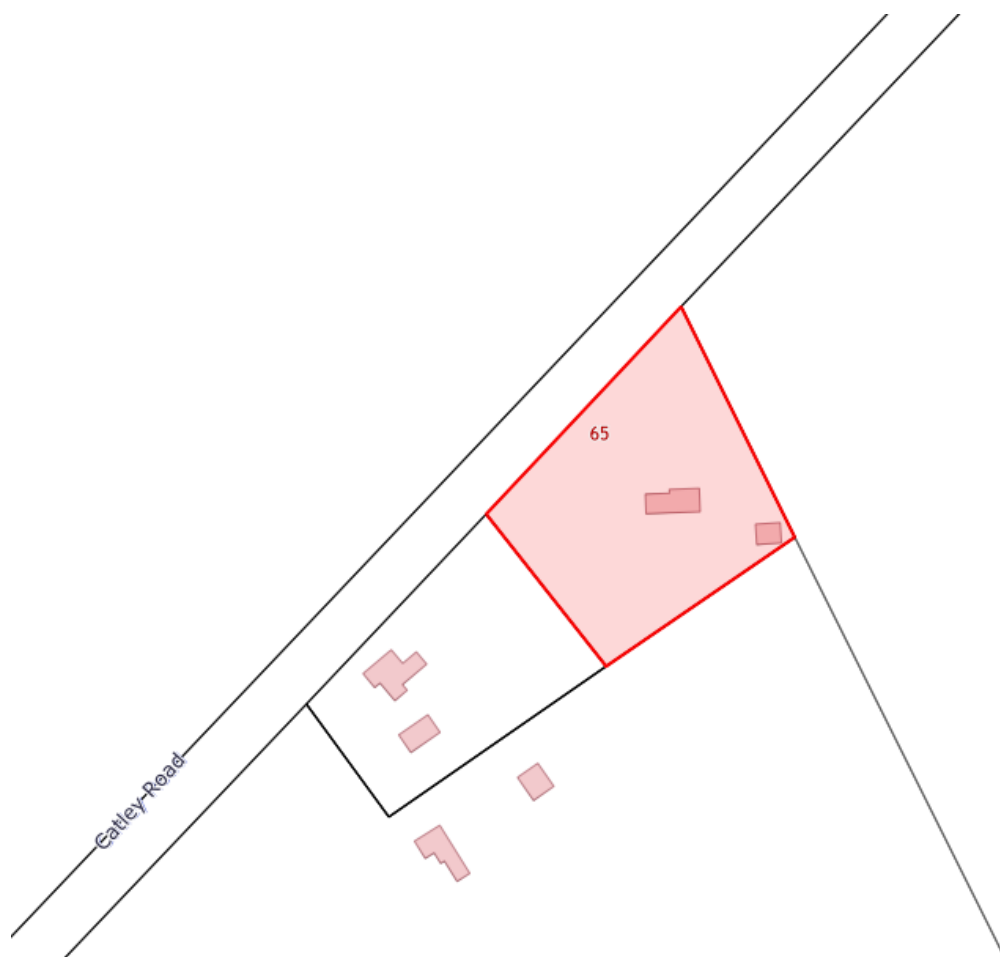
Property charges (2020/21)

	Targeted rate factor	Factor applicable	Amount
District Refuse	per dwelling	1.00	\$222.71
General Rate	0.0022364c/\$	650000.00	\$1,453.66
Orini Community Centre	per dwelling	1.00	\$26.00
Uniform Annual General Charge (UAGC)	Fixed Charge	1.00	\$383.15

Total rates payable \$2,085.52 incl GST

Property valuation history





! If your property connects to any additional council services between now and the 30 June 2020, there will be additional charges added to your property in the following rating year. If you have any questions or queries with regards to your 2019/20 rates, please contact a member of the rating team on 0800 492 452 (tel:0800492452) or e-mail rates@waidc.govt.nz. (<mailto://rates@waidc.govt.nz>)



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier SA61C/631
Land Registration District South Auckland
Date Issued 31 July 1997

Prior References

SA47B/601

Estate	Fee Simple
Area	1.0040 hectares more or less
Legal Description	Lot 2 Deposited Plan South Auckland 77565

Registered Owners

Craig James Moore and Debbie Maree Vickers

Interests

Subject to Section 3 Petroleum Act 1937

Subject to Section 8 Atomic Energy Act 1945

Subject to Section 3 Geothermal Energy Act 1953

Subject to Sections 6 and 8 Mining Act 1971

Subject to Sections 5 and 261 Coal Mines Act 1979

Subject to Part IV A Conservation Act 1987

B430426A.2 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 31.7.1997 at 10.39 am

Subject to a right of way (in gross) over part marked C on DPS 77565 in favour of the Waikato Regional Council created by Transfer B430426A.4 - 31.7.1997 at 10.39 am

The easements created by Transfer B430426A.4 are subject to Section 243 (a) Resource Management Act 1991

Land Covenant in Transfer B530986.1 - 8.3.1999 at 10.55 am

10223167.3 Mortgage to Mortgage Holding Trust Company Limited - 20.10.2015 at 5:31 pm

11682158.1 Mortgage to Lending Crowd Trustee Limited - 11.2.2020 at 2:36 pm

[illegible]



CONSENT NOTICE PURSUANT TO SECTION 221 RESOURCE MANAGEMENT ACT 1991

The District Land Registrar
South Auckland Land Registry

FILE

IN THE MATTER

of a Consent Notice pursuant to Section 221 of
the Resource Management Act 1991

and

IN THE MATTER

of a subdivision Consent pursuant to Sections
105, 108, 220, and 221 of the Resource
Management Act 1991

PURSUANT to section 252(1)(a) of the Local Government Act 1974, I, MARK BUTTIMORE Acting Chief Executive of THE WAIKATO DISTRICT COUNCIL, hereby certify that by way of delegated authority conferred on Council Officers under Section 34(4) of the Resource Management Act 1991 the following notice should be registered on the Certificate of Title for Lot 1 and 2 on Deposited Plan S.77565 being a subdivision of Section 2 Blk XIII Hapuakohe Survey District comprised in Certificate of Title Volume 47B Folio 601 (South Auckland Registry).

THE Owner of the land (as defined in the Resource Management Act 1991) shall, on a continuing basis, ensure that:

No rural dwelling house shall be located within the building restriction covenant areas identified as "A" and "B" on CKL Survey Plan Number 96634.

DATED at Ngaruawahia this ^{19TH} day of May 1997.



MARK BUTTIMORE

Acting Principal Administration Officer



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

96634

In reply please quote:

70 97 131

If calling, please ask for:

Chris Dawson

13 February 1997

Carter Keucke & Latham Ltd
PO Box 171
HAMILTON

Dear Sir/Madam

APPLICATION FOR RESOURCE CONSENT: OMAKA FARMS LTD

You are advised of the following decision on your application, which has been made pursuant to a delegated authority by the District Planner.

"That pursuant to Sections 34(4), 105(1)(a), 108 and 220 of the Resource Management Act 1991 the Waikato District Council under delegated authority grants subdivisional consent for a discretionary activity to create one rural house lot and a controlled activity to undertake a boundary relocation on a site legally described as Section 2 SO 37436 & Section 1 SO 37436, being the land comprised in Certificates of Title 47B/601 & 28A/1246, South Auckland Land Registry, subject to the following conditions:

- 223 ✓ 1. The Survey Plan to give effect to this resource consent must be consistent with the proposal shown on CKL Surveys Plan No. 96634 as submitted for application No. 70/ 97/131 and received by Council on 14 January 1997.
- ✓ 2. No building or dwellinghouse shall be located within the Building Restriction covenant areas identified as 'A' & 'B' on the Survey Plan Number 96634.
- ✓ 3. That pursuant to Section 221 of the Resource Management Act 1991, a consent notice shall be prepared by the Council's Solicitors at the applicant's expense to ensure compliance with condition 2 on a continuing basis by the subdividing land owner and subsequent owners of Lots 1 and 2. The consent notice is to be registered against the title of Lots 1 and 2.
- ✓ 4. That Lot 2 be provided with a standard residential vehicle entrance located to provide a minimum sight distance of 130 metres and constructed in accordance with WDC plan No. TSG-E3 to the satisfaction of Council. (copy attached).
- ✓ 5. That the existing entrances to lot 1 and 3 be re-metalled to fill the holes which are present adjacent to the edge of road formation to the satisfaction of Council.
6. That the drain along the north-eastern boundary of Lot 2 from Catley road turning at the southern boundary of Lot 2 along to the eastern corner of Lot 1 be upgraded in consultation with Environment Waikato to the satisfaction of Council. The design standard required by Environment Waikato is to provide sufficient capacity to cope with 38 mm of runoff over 24 hrs.
7. That a right of way easement in gross in favour of Environment Waikato be granted and reserved to ensure that a 7 metre wide machine/access strip is to remain clear of planting
Area Offices at Hamilton, Huntly, and Raglan

and building along both sides of the drains shown as covenant areas 'C' and 'D' on CKL Surveys Plan No. 96634.

8. That the strip referred to in condition 6 remain clear of planting and buildings.
9. That the effluent drainage field for the existing dwelling on Lot 1 be located not less than 1.5 metres within the boundary of the Lot to the satisfaction of Council.
10. That an independent potable domestic water supply be provided to Lot 1.
11. That any easements be granted and reserved and shown on the land transfer plan.
12. That Lot 3 hereon be transferred to the owner of Section 1 Block XIII Hapuakohe Survey District (CT 28A/1246) and that one Certificate of Title be issued to include both parcels. B393086.

Note:

That future maintenance of the drain described in condition 6 becomes the responsibility of Environment Waikato.

The reasons for this decision are:

- a) The proposal satisfies the requirements of the relevant parts of Rules 9S2.3, 9S2.6, 9S2.7 , 42.5.6 & 42.5.9 of the Proposed Waikato District Plan relating to the creation of rural house lots and boundary relocations.
- b) It is appropriate for Council to exercise its discretion under section 105(1)(b) of the Resource Management Act 1991 to grant its consent to the application as the adverse effects are minimal.
- c) A reference (appeal) by Greenhill Holdings requiring the insertion of additional assessment criteria relating to mineral resources, has some effect on the rural and rural residential zones. In this instance, there are no known sand quarries within 200 metres or rock quarries within 500 metres of the site.
- d) Council has given full weight to the Proposed Waikato District Plan where those provisions are beyond challenge under Sections 75 and 75B of the Resource Management Amendment Act 1996.
- e) No weight has been given to the Transitional Waikato District Plan and its provisions."

This decision has been made under the authority delegated to staff by Council.

A Lapsing of Consents

Your attention is drawn to Section 125 of the Resource Management Act 1991. A summary of that section is that a resource consent lapses on the expiry of 2 years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- (a) The consent is given effect to, before the end of that period:
- or

- (b) An application is made to Council up to 3 months after the expiry of that period which meets the criteria specified in Section 125.

B Compliance with Conditions

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C Changes to Conditions

Your attention is drawn to Section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of Section 127 can be met.

D Review of Decision on non-notified application

Your attention is drawn to section 357(2) of the Resource Management Act 1991. This section provides that there is a right of objection to Council in respect of this decision. Section 357(5) requires:

Any such objection shall be made by notice in writing to the Council, setting out the reasons for the objection, within 15 working days after the decision or requirement being notified to that person, or within such further time as may in any case be allowed by the consent of the Council.

E Right of Appeal

Your attention is drawn to the Resource Management Act 1991 Sections 120 and 121 and also Resource Management Regulations 1991/170 Section 10 and Part VI. Some key provisions to note are as follows:

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Planning Tribunal and with the Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Planning Tribunal is as follows:

The Registrar
Planning Tribunal
P O Box 5027
Wellington

- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.

- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully
M Buttimore
MANAGER



M L Radford
SUPERVISING CONSENTS OFFICER
ENVIRONMENTAL SERVICES
SECJH7021314J



FINAL CODE COMPLIANCE CERTIFICATE NUMBER: 89269

Section 43(3) Building Act 1991

ISSUED BY WAIKATO DISTRICT COUNCIL
BUILDING CONSENT NUMBER: 89269

POST TO	PROJECT
Owner: GREIG, ERNEST KEVIN Address: C/- DELTA HOMES ATTN: NOELEEN BELL P O BOX 12-352 HAMILTON 2015	Stage Number of an intended stages of: New or relocated building <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Other <input type="checkbox"/>
PROJECT LOCATION	
CATLEY ROAD, ORINI	Intended use(s) (in detail): DWELLING
LEGAL DESCRIPTION	
Property Number: 2002943 Valuation Roll Number: 04414 06701 Legal Desc:	Intended life: Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

Signed for and on behalf of the Council:

Name: Tony Krippner

Signature: *Tony Krippner*

Position: Building Control Officer

Date: 09/03/1998



WAIKATO DISTRICT COUNCIL

BUILDING CONSENT NO. ABA 89269

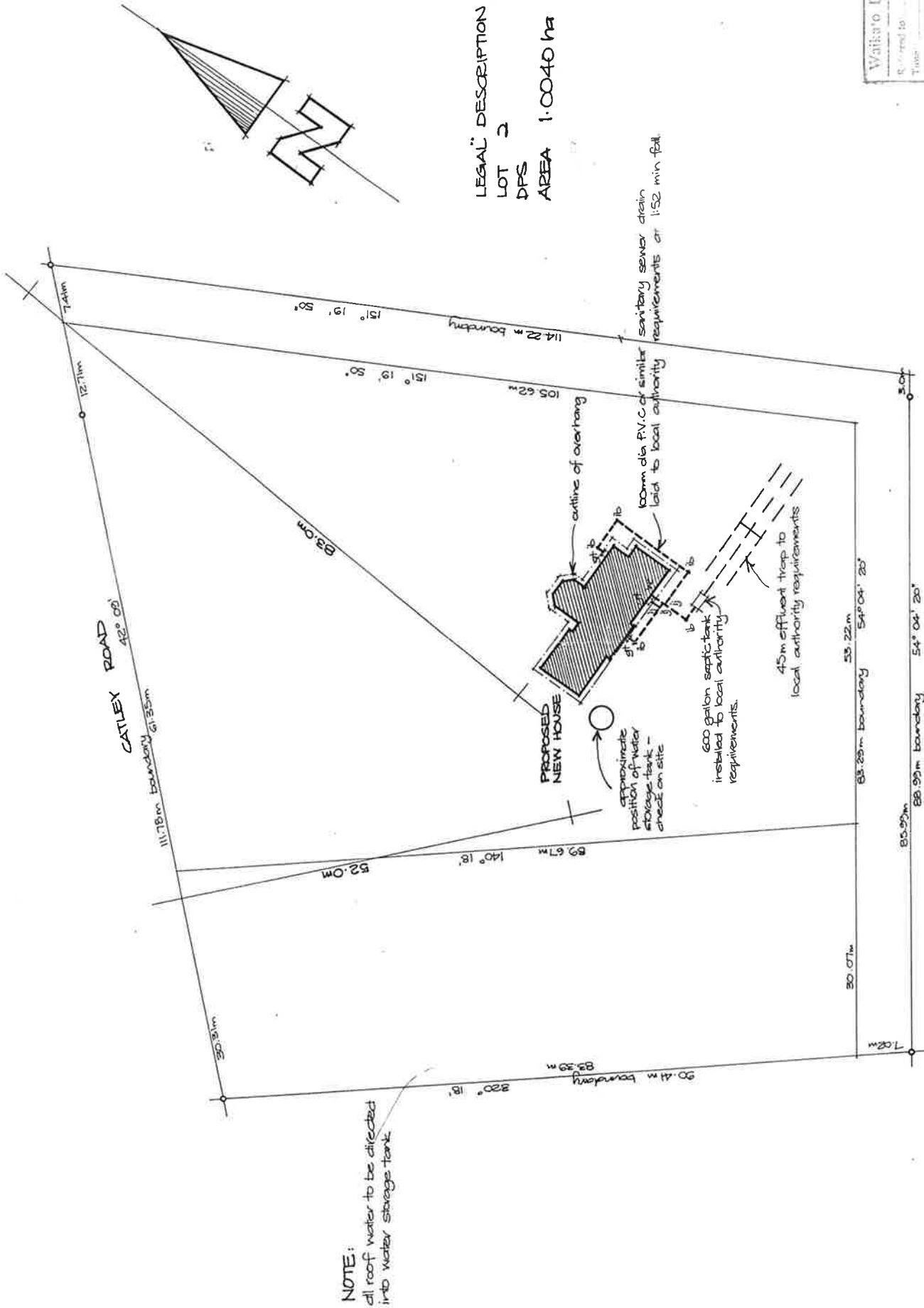
Section 35, Building Act 1991

ISSUED BY: WAIKATO DISTRICT COUNCIL

APPLICANT	PROJECT
Name: GREIG, ERNEST KEVIN Mailing Address: C/- DELTA HOMES, ATTN: NOELEEN BELL, P O BOX 12-352, HAMILTON 2015	All <input checked="" type="checkbox"/> Stage No of an intended stages
PROJECT LOCATION	
Street Address: CATLEY ROAD, ORINI	New or Relocated Building <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 2002943 Valuation Roll No: 04414 06701 Legal Description:	Intended Use(s) in detail: DWELLING Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years <input type="checkbox"/> Estimated Value: \$ 116000
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ PAID ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council: Name: J.E. Smith Position: Consents Officer Date: 26/11/1997

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act not permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No "



SITE AND DRAINAGE PLAN

scale 1:500

NEW HOUSE FOR K AND P GREIG

CATLEY ROAD - ORINI

date: OCT 97

sheet:

of

Waikato District Council	
Referred to:	
Date:	31 OCT 1997
Copy to:	
Project file no:	
COUNTER	

ABA 89269 - Craig

ENVIRONMENT WAIKATO

ID:64-7-8564998

17 NOV '97 10:24 No.010 P



FACSIMILE COVER SHEET

Fax To Noclene Bell

Organisation Delta Homes

Fax Number 8540762

From Guy Russell

Date 17 November 1997 File Number 82 51 14 & 77 03 00

Number Of Pages Including Cover 1



☒ Routine

☐ Urgent

☐ Confidential

Message

PROPOSED HOUSE FLOOR LEVEL, LOT 2, CATLEY ROAD

The proposed house site has been inspected by staff, to determine a suitable expected flood level. Catley Road is the upstream end of the Mangawara River scheme stopbanks, and the road crest along Catley Road can be expected to be overtopped in extreme flood events. A flood level for the land upstream (south) of Catley Road has not been determined, but flow over the road at the road culvert site could be expected to be 0.1 to 0.2 metres. The road crest at the house site is higher than at the road culvert and therefore is a reasonable flood level to adopt.

In summary, Environment Waikato staff have determined the flood level at this site to be the level of Catley Road, located at the house entrance.

Yours faithfully

A handwritten signature in cursive script, appearing to read "Guy Russell".

GH Russell,

Programme Manager, Land Drainage

CAUTION: The information contained in this facsimile message is legally privileged and confidential. If the reader of this message is not the intended recipient, you are hereby notified that any use, dissemination, distribution or copying of this message is prohibited. If you have received this document in error, please notify us immediately by telephone or facsimile and destroy the original message. Thank you.

g:\landrain\waikato\taupiri\delta\deltaelta homes 1197

HAMILTON OFFICE
401 Grey Street, Hamilton East,

TAUPO OFFICE
283 Broadlands Road, Taupo.

PAEROA OFFICE
13 Oatito Road, Paeroa.

APPLICANT.....

PIM NUMBER.....

LOCATION.....

ATTEN: BUILDING CONTROL OFFICER

A HAZARD EXISTS ON THIS PROPERTY

Peat soils.

Subject to Bodily Inundation.

ENGINEER.....

DATE.....

DATE: 21/1/19

AMENDMENTS RECEIVED FOR BUILDING CONSENT APPLICATION

APPLICATION NUMBER: 89269

NAME OF OWNER: Craig

PLANNING: Copy of Title.

PLUMBING AND DRAINAGE:

BUILDING:

ENGINEERING:

DATE:

19/11/97.

AMENDMENTS RECEIVED FOR BUILDING CONSENT APPLICATION

APPLICATION NUMBER:

89269

NAME OF OWNER:

Greig

PLANNING:

PLUMBING AND DRAINAGE:

BUILDING:

Letter from Environment Waikato.

ENGINEERING:

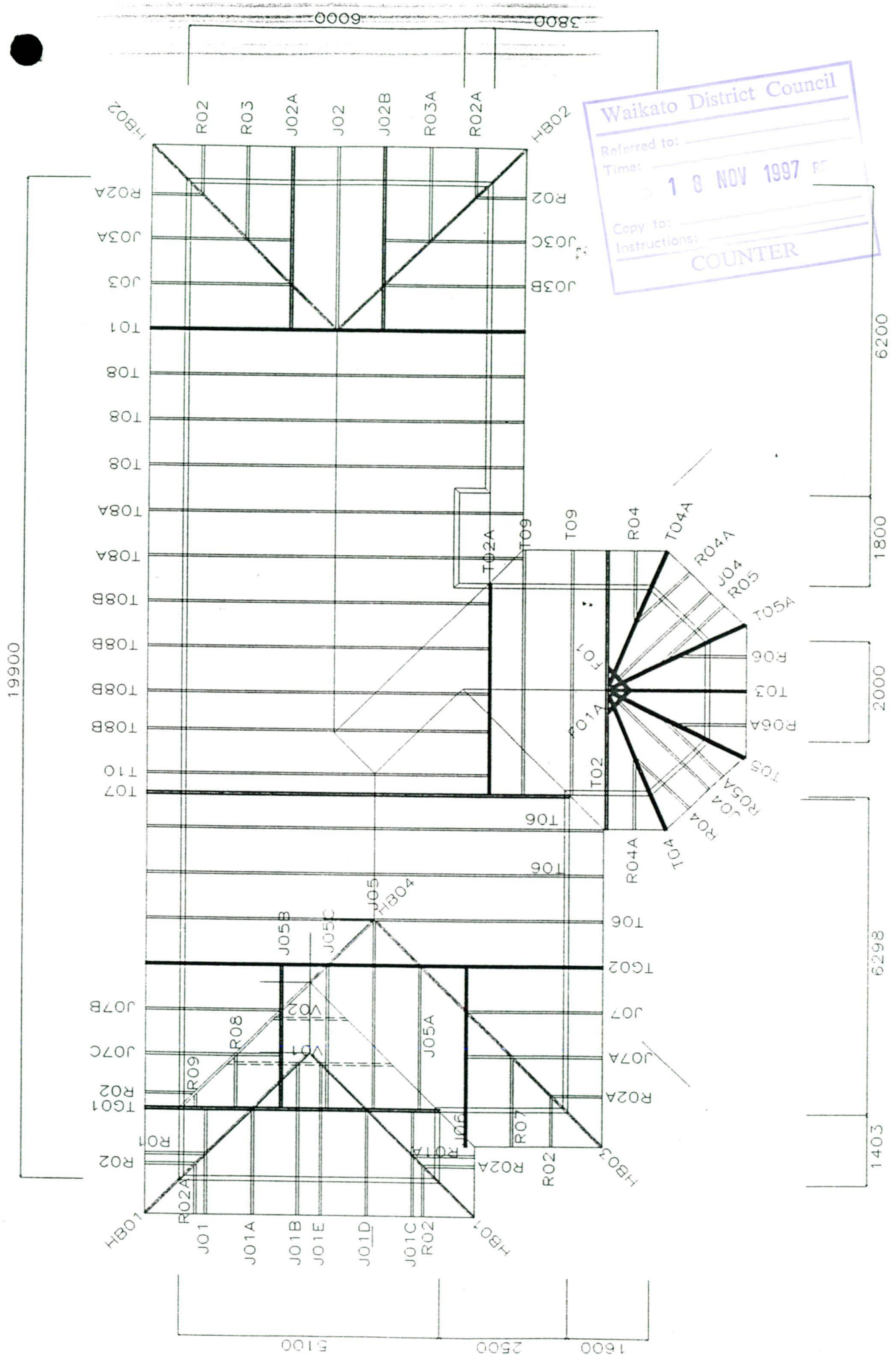
Lintel Calculations

Letter from Environment Waikato

Minimum floor level @ Road level - 1500
EW letter. Accept calc's for lintels,

EF00017

Foundation requirements still outstanding
19-11-97 \$11.



(95113)

40

De Ha Homas : S Rawell

28/6/95

Garage Door Lintel :(350 x 100 Gringlani) to Gang-Nal
1/2 Ltd selection material.Kitchen Lintel : cantilevered 600
roof loads:

$$G = 0.40 \text{ kPa} \times 9/2 = 1.80 \text{ kN/m}$$

$$Q = 0.25 \quad \quad = 1.13 \quad \quad$$

AMENDED PLANS					
Calc	29 JUN 1995				
Stat P.					
P & D					
BL					
Design					
ST/FR					

Bending :

$$M = 1.2 \times 1.80 + 1.6 \times 1.13 = 3.97 \text{ kNm}$$

$$M^x = w l^2 / 2 = 3.97 \times 0.6^2 / 2$$

$$= 0.72 \text{ kNm}$$

2/200 x 50 ok by inspection

Deflection : $k_2 = 2.0$

$$\delta = \frac{W l^4}{8 E I} = \frac{2 \times 1.80 \times 600^4}{8 \times 80000 \times I} = \frac{7.3 \times 10^6}{I}$$

$$I = \frac{2 \times 47 \times 194^3}{12}$$

$$= 5.7 \times 10^7 \text{ mm}^4$$

$$\therefore \delta = 0.13 \text{ mm} \quad \checkmark \quad \text{OK}$$

 \Rightarrow use 200 x 100 lintel

CONTINUE FROM PREVIOUS PAGE 003

LIGHT	350 x 100	6.23	5.94	5.69	5.44	5.19	4.94	4.69	4.44	4.19	3.94	3.69	3.44	3.19	2.94	2.69	2.44	2.19	1.94	1.69	1.44	1.19	0.94	0.69	0.44	0.19	0.00
	400 x 100	7.03	6.61	6.21	5.87	5.59	5.34	5.12	4.92	4.73	4.55	4.38	4.23	4.05	3.88	3.73	3.58	3.43	3.25	3.09	2.94	2.79	2.64	2.49	2.34	2.19	2.00
	450 x 100	7.54	7.02	6.59	6.24	5.93	5.67	5.44	5.23	5.05	4.88	4.73	4.55	4.38	4.23	4.05	3.88	3.73	3.58	3.43	3.25	3.09	2.94	2.79	2.64	2.49	2.30
	500 x 100	7.99	7.44	6.99	6.61	6.29	6.01	5.77	5.55	5.35	5.18	5.02	4.84	4.66	4.50	4.33	4.17	4.01	3.85	3.69	3.53	3.37	3.21	3.05	2.89	2.73	2.57
	550 x 100	8.46	7.87	7.40	7.00	6.65	6.36	6.10	5.87	5.66	5.48	5.31	5.13	4.95	4.78	4.61	4.44	4.27	4.10	3.93	3.76	3.59	3.42	3.25	3.08	2.91	2.74
HEAVY ROOF	100 x 100	1.17	1.12	1.07	1.03	1.00	0.97	0.94	0.92	0.90	0.88	0.86	0.84	0.82	0.80	0.78	0.76	0.74	0.72	0.70	0.68	0.66	0.64	0.62	0.60	0.58	0.56
	125 x 100	1.50	1.43	1.37	1.32	1.28	1.24	1.21	1.18	1.15	1.12	1.10	1.08	1.06	1.04	1.02	1.00	0.98	0.96	0.94	0.92	0.90	0.88	0.86	0.84	0.82	0.80
	150 x 100	1.83	1.74	1.67	1.61	1.56	1.51	1.47	1.43	1.40	1.37	1.34	1.31	1.28	1.25	1.22	1.20	1.17	1.14	1.11	1.08	1.05	1.02	1.00	0.97	0.94	0.91
	200 x 100	2.41	2.30	2.21	2.13	2.06	2.00	1.94	1.89	1.85	1.81	1.77	1.73	1.69	1.65	1.61	1.57	1.53	1.49	1.45	1.41	1.37	1.33	1.29	1.25	1.21	1.17
	250 x 100	3.00	2.86	2.74	2.64	2.56	2.48	2.41	2.35	2.30	2.25	2.20	2.15	2.10	2.05	2.00	1.95	1.90	1.85	1.80	1.75	1.70	1.65	1.60	1.55	1.50	1.45
	300 x 100	3.65	3.48	3.34	3.22	3.11	3.02	2.94	2.86	2.79	2.73	2.68	2.63	2.58	2.53	2.48	2.43	2.38	2.33	2.28	2.23	2.18	2.13	2.08	2.03	1.98	1.93
	350 x 100	4.40	4.20	4.03	3.88	3.75	3.64	3.54	3.45	3.37	3.29	3.19	3.11	3.02	2.94	2.86	2.79	2.73	2.68	2.63	2.58	2.53	2.48	2.43	2.38	2.33	2.28
	400 x 100	5.04	4.81	4.61	4.44	4.30	4.17	4.06	3.95	3.85	3.73	3.61	3.50	3.40	3.31	3.22	3.13	3.04	2.95	2.86	2.77	2.68	2.59	2.50	2.41	2.32	2.23
	450 x 100	5.69	5.42	5.20	5.01	4.85	4.70	4.57	4.40	4.25	4.11	3.98	3.85	3.73	3.61	3.50	3.40	3.31	3.22	3.13	3.04	2.95	2.86	2.77	2.68	2.59	2.50
	500 x 100	6.34	6.05	5.80	5.59	5.40	5.16	4.95	4.76	4.59	4.44	4.31	4.18	4.05	3.93	3.81	3.70	3.60	3.50	3.41	3.32	3.23	3.14	3.05	2.96	2.87	2.78
	550 x 100	6.93	6.61	6.34	6.05	5.75	5.49	5.27	5.07	4.89	4.73	4.59	4.44	4.31	4.18	4.05	3.93	3.81	3.70	3.60	3.50	3.41	3.32	3.23	3.14	3.05	2.96
	600 x 100	7.48	7.22	6.80	6.43	6.12	5.84	5.60	5.39	5.20	5.03	4.88	4.73	4.59	4.44	4.31	4.18	4.05	3.93	3.81	3.70	3.60	3.50	3.41	3.32	3.23	3.14

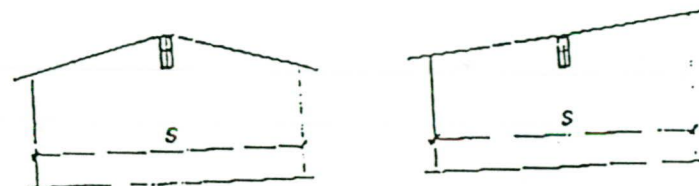


TABLE 2:
GANGLAM RIDGE BEAM SUPPORTING ROOF AND SARKING
(RAFTERS @ 1200mm CRS MAX)

BEAM SIZE	MAXIMUM BEAM SPAN (m)										
	5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0	13.0	14.0	15.0
LIGHT ROOF	5.05	4.76	4.52	4.32	4.15	4.01	3.89	3.77	3.68	3.59	3.50
100 x 100	5.94	5.59	5.31	5.08	4.88	4.71	4.57	4.44	4.32	4.21	4.12
125 x 100	6.80	6.40	6.08	5.82	5.59	5.40	5.23	5.06	4.95	4.83	4.72
150 x 100	7.56	7.22	6.86	6.56	6.31	6.09	5.90	5.73	5.58	5.44	5.32
200 x 100	8.20	7.83	7.54	7.29	7.03	6.79	6.58	6.39	6.22	6.07	5.93
250 x 100	8.80	8.40	8.06	7.79	7.51	7.27	7.05	6.84	6.65	6.48	6.33
300 x 100	9.35	8.95	8.61	8.33	8.09	7.88	7.69	7.53	7.38	7.24	7.08
350 x 100	9.97	9.55	9.21	8.93	8.69	8.48	8.29	8.13	7.97	7.82	7.66
400 x 100	10.54	10.11	9.76	9.48	9.24	9.03	8.84	8.68	8.52	8.37	8.21
450 x 100	11.16	10.72	10.37	10.09	9.85	9.64	9.45	9.29	9.13	8.97	8.81
500 x 100	11.73	11.29	10.94	10.66	10.42	10.21	10.02	9.86	9.69	9.53	9.37
550 x 100	12.35	11.91	11.56	11.28	11.04	10.83	10.64	10.48	10.32	10.16	10.00
600 x 100	12.92	12.48	12.13	11.85	11.61	11.40	11.21	11.05	10.89	10.73	10.57
HEAVY ROOF	4.09	3.85	3.65	3.50	3.36	3.25	3.14	3.05	2.97	2.90	2.83
100 x 100	4.80	4.52	4.29	4.11	3.95	3.81	3.69	3.59	3.49	3.41	3.33
125 x 100	5.50	5.18	4.92	4.71	4.53	4.37	4.23	4.11	4.00	3.91	3.82
150 x 100	6.21	5.84	5.55	5.31	5.10	4.93	4.77	4.64	4.51	4.40	4.30
200 x 100	6.92	6.51	6.19	5.92	5.69	5.49	5.32	5.17	5.03	4.91	4.80
250 x 100	7.58	7.15	6.82	6.54	6.31	6.11	5.94	5.79	5.65	5.53	5.42
300 x 100	8.19	7.76	7.43	7.15	6.92	6.72	6.55	6.40	6.26	6.14	6.03
350 x 100	8.75	8.32	7.99	7.71	7.48	7.28	7.11	6.96	6.82	6.70	6.59
400 x 100	9.26	8.83	8.50	8.22	7.99	7.79	7.62	7.47	7.33	7.21	7.10
450 x 100	9.72	9.29	8.96	8.68	8.45	8.25	8.08	7.93	7.79	7.67	7.56
500 x 100	10.13	9.70	9.37	9.09	8.86	8.66	8.49	8.34	8.20	8.08	7.97
550 x 100	10.50	10.07	9.74	9.46	9.23	9.03	8.86	8.71	8.57	8.45	8.34
600 x 100	10.82	10.39	10.06	9.78	9.55	9.35	9.18	9.03	8.89	8.77	8.66

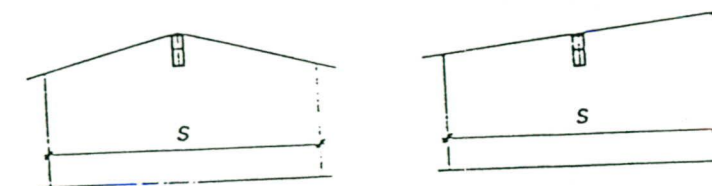


TABLE 2:
GANGLAM RIDGE BEAM SUPPORTING ROOF AND SARKING
(RAFTERS @ 1200mm CRS MAX)

BEAM SIZE	MAXIMUM BEAM SPAN (m)										
	5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0	13.0	14.0	15.0
LIGHT ROOF	5.05	4.76	4.52	4.32	4.15	4.01	3.89	3.77	3.68	3.59	3.50
100 x 100	5.94	5.59	5.31	5.08	4.88	4.71	4.57	4.44	4.32	4.21	4.12
125 x 100	6.80	6.40	6.08	5.82	5.59	5.40	5.23	5.06	4.95	4.83	4.72
150 x 100	7.56	7.22	6.86	6.56	6.31	6.09	5.90	5.73	5.58	5.44	5.32
200 x 100	8.20	7.83	7.54	7.29	7.03	6.79	6.58	6.39	6.22	6.07	5.93
250 x 100	8.80	8.40	8.06	7.79	7.51	7.27	7.05	6.84	6.65	6.48	6.33
300 x 100	9.35	8.95	8.61	8.33	8.09	7.88	7.69	7.53	7.38	7.24	7.08
350 x 100	9.97	9.55	9.21	8.93	8.69	8.48	8.29	8.13	7.97	7.82	7.66
400 x 100	10.54	10.11	9.76	9.48	9.24	9.03	8.84	8.68	8.52	8.37	8.21
450 x 100	11.16	10.72	10.37	10.09	9.85	9.64	9.45	9.29	9.13	8.97	8.81
500 x 100	11.73	11.29	10.94	10.66	10.42	10.21	10.02	9.86	9.69	9.53	9.37
550 x 100	12.35	11.91	11.56	11.28	11.04	10.83	10.64	10.48	10.32	10.16	10.00
600 x 100	12.92	12.48	12.13	11.85	11.61	11.40	11.21	11.05	10.89	10.73	10.57
HEAVY ROOF	4.09	3.85	3.65	3.50	3.36	3.25	3.14	3.05	2.97	2.90	2.83
100 x 100	4.80	4.52	4.29	4.11	3.95	3.81	3.69	3.59	3.49	3.41	3.33
125 x 100	5.50	5.18	4.92	4.71	4.53	4.37	4.23	4.11	4.00	3.91	3.82
150 x 100	6.21	5.84	5.55	5.31	5.10	4.93	4.77	4.64	4.51	4.40	4.30
200 x 100	6.92	6.51	6.19	5.92	5.69	5.49	5.32	5.17	5.03	4.91	4.80
250 x 100	7.58	7.15	6.82	6.54	6.31	6.11	5.94	5.79	5.65	5.53	5.42
300 x 100	8.19	7.76	7.43	7.15	6.92	6.72	6.55	6.40	6.26	6.14	6.03
350 x 100	8.75	8.32	7.99	7.71	7.48	7.28	7.11	6.96	6.82	6.70	6.59
400 x 100	9.26	8.83	8.50	8.22	7.99	7.79	7.62	7.47	7.33	7.21	7.10
450 x 100	9.72	9.29	8.96	8.68	8.45	8.25	8.08	7.93	7.79	7.67	7.56
500 x 100	10.13	9.70	9.37	9.09	8.86	8.66	8.49	8.34	8.20	8.08	7.97
550 x 100	10.50	10.07	9.74	9.46	9.23	9.03	8.86	8.71	8.57	8.45	8.34
600 x 100	10.82	10.39	10.06	9.78	9.55	9.35	9.18	9.03	8.89	8.77	8.66

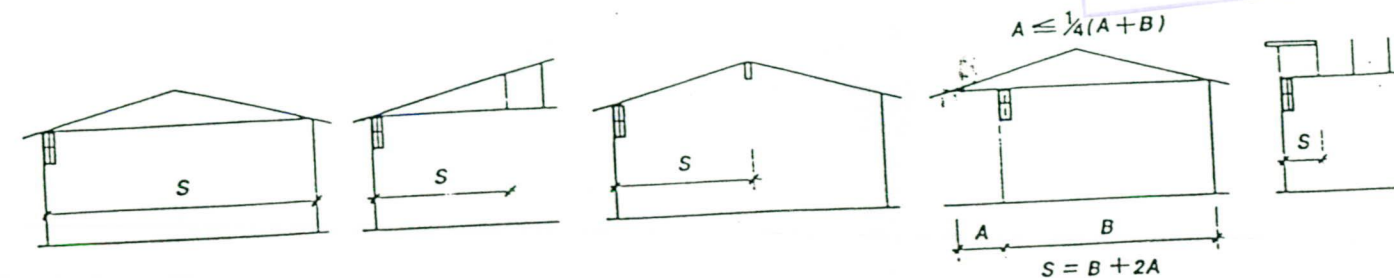
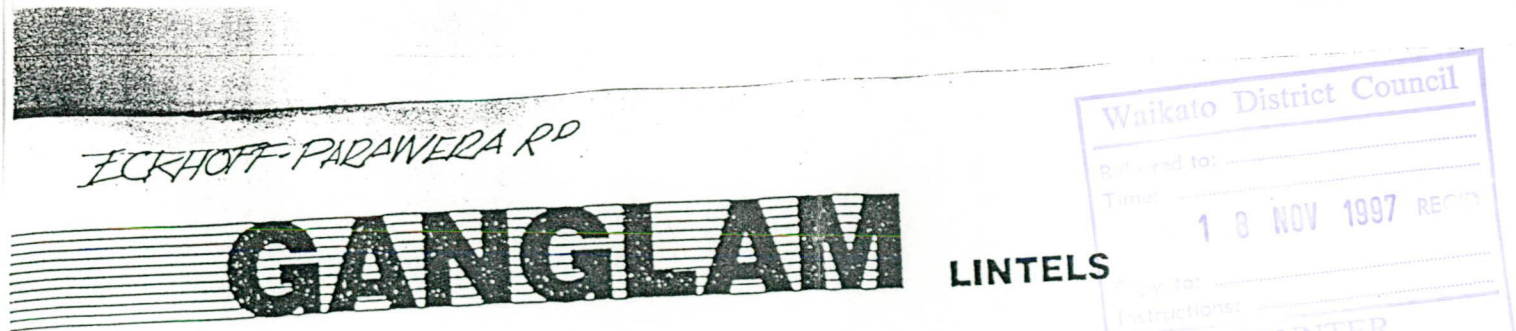
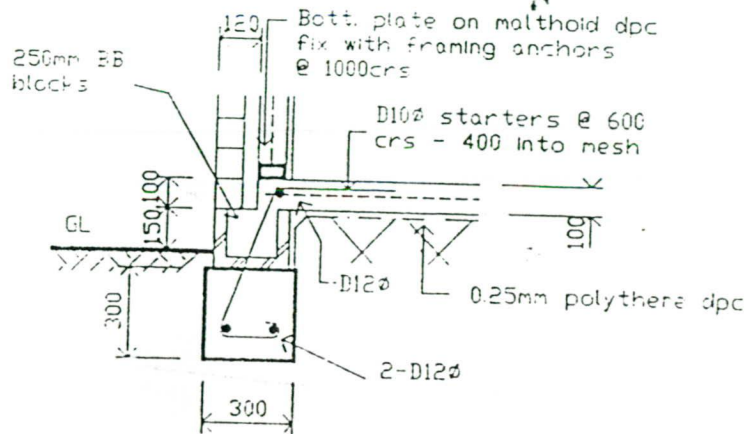
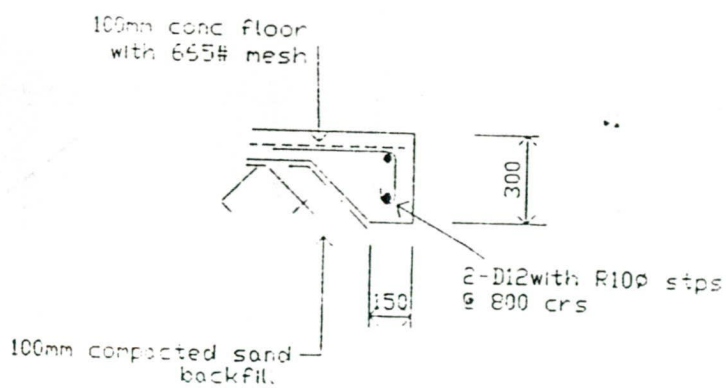


TABLE 1:
LINTEL SUPPORTING ROOF ONLY

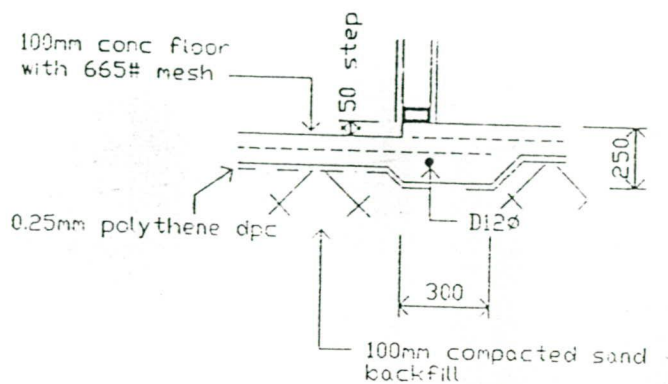
TABLE 1: LINTEL SUPPORTING ROOF ONLY												
LINTEL SIZE		MAXIMUM LINTEL SPAN (m)										
		SUPPORTED ROOF SPAN 'S' (m)										
		5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0	13.0	14.0	15.0
LIGHT ROOF	100 x 100	1.45	1.38	1.33	1.28	1.24	1.20	1.17	1.14	1.11	1.09	1.06
	125 x 100	1.85	1.77	1.70	1.63	1.58	1.53	1.49	1.45	1.42	1.39	1.36
	150 x 100	2.26	2.15	2.06	1.99	1.92	1.87	1.82	1.77	1.73	1.69	1.65
	200 x 100	2.98	2.84	2.73	2.63	2.54	2.47	2.40	2.34	2.28	2.23	2.19
	250 x 100	3.71	3.54	3.39	3.27	3.16	3.07	2.98	2.91	2.84	2.76	2.67
	300 x 100	4.51	4.30	4.13	3.98	3.85	3.73	3.63	3.50	3.37	3.26	3.16
	350 x 100	5.44	5.19	4.98	4.79	4.58	4.37	4.19	4.04	3.89	3.77	3.65
	400 x 100	6.23	5.94	5.69	5.38	5.12	4.89	4.69	4.51	4.36	4.21	4.08
	450 x 100	7.03	6.61	6.21	5.87	5.59	5.34	5.12	4.93	4.75	4.60	4.46
	500 x 100	7.54	7.02	6.59	6.24	5.93	5.67	5.44	5.23	5.05	4.88	4.73
HEAVY ROOF	100 x 100	1.17	1.12	1.07	1.03	1.00	0.97	0.94	0.92	0.90	0.88	0.86
	125 x 100	1.50	1.43	1.37	1.32	1.28	1.24	1.21	1.18	1.15	1.12	1.10
	150 x 100	1.83	1.74	1.67	1.61	1.56	1.51	1.47	1.43	1.40	1.37	1.34
	200 x 100	2.41	2.30	2.21	2.13	2.06	2.00	1.94	1.89	1.85	1.81	1.77
	250 x 100	3.00	2.86	2.74	2.64	2.56	2.48	2.41	2.35	2.30	2.25	2.20
	300 x 100	3.65	3.48	3.34	3.22	3.11	3.02	2.94	2.86	2.79	2.73	2.68
	350 x 100	4.40	4.20	4.03	3.88	3.75	3.64	3.54	3.45	3.37	3.29	3.19
	400 x 100	5.04	4.81	4.61	4.44	4.30	4.17	4.06	3.95	3.85	3.73	3.61
	450 x 100	5.69	5.42	5.20	5.01	4.85	4.70	4.57	4.40	4.25	4.11	3.98
	500 x 100	6.34	6.05	5.80	5.59	5.40	5.16	4.95	4.76	4.59	4.44	4.31
	550 x 100	6.93	6.61	6.34	6.05	5.75	5.49	5.27	5.07	4.89	4.73	4.59
	600 x 100	7.48	7.22	6.80	6.43	6.12	5.84	5.60	5.39	5.20	5.03	4.88



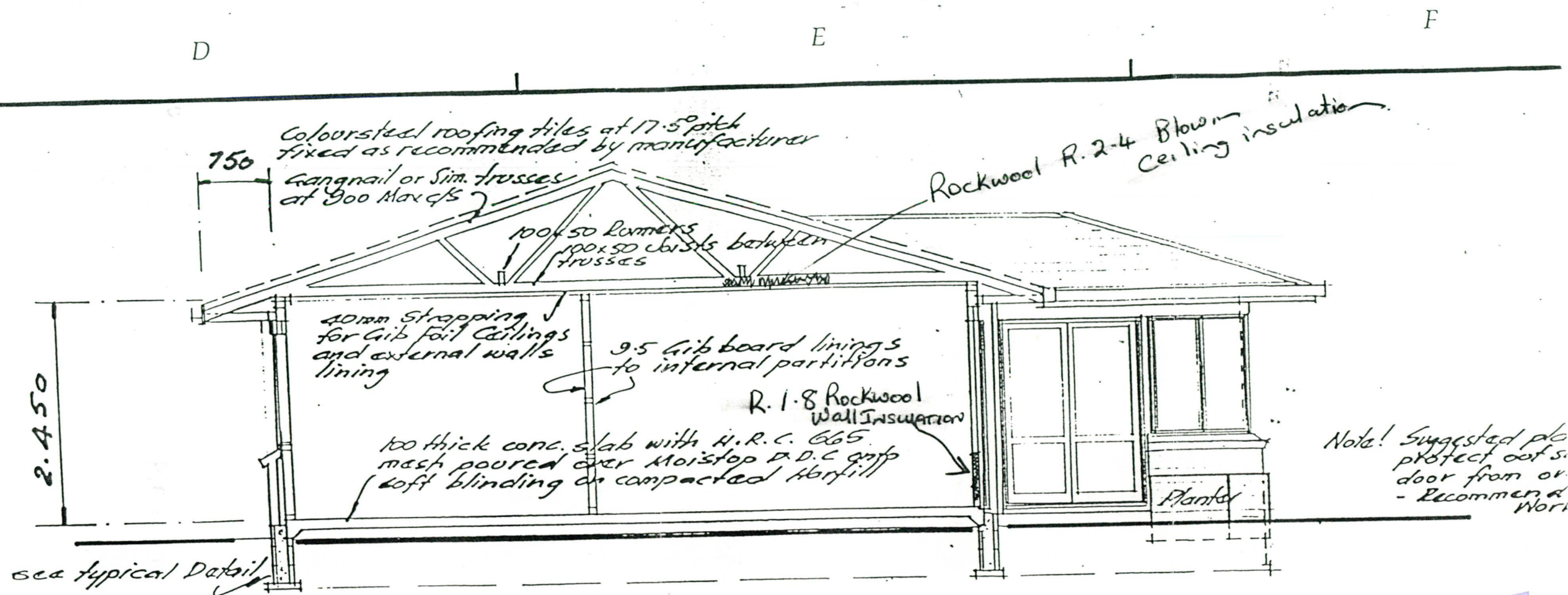
SECTION 1-1 THRU
PERIMETER FOOTING



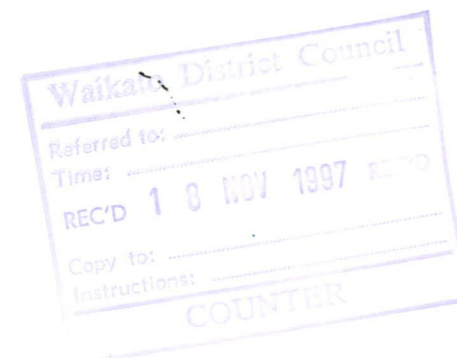
SECTION 2-2 THRU
FOOTING AT PLANTER BOX
AND MAIN ENTRANCE



SECTION 3-3 THRU



1:50 CROSS SECT A-A



Waikato District Council	
Referred to:	
Time:	
31 OCT 1997 REC	
Copy to:	
Instructions:	
COUNTER	

PRELIMINARY AND GENERAL (ALL TRADES)

Permits

The contractors shall arrange to obtain all permits to build etc and arrange all inspections.

Protection Of Work

All parts of the work liable to injury and all adjoining property, existing work, footways, trees etc are to be protected to the best of the contractors ability until completion of the contract.

PC Sums (Nett Sums)

The PC Sums quoted in this specification are nett and the contractor or the sub-contractor concerned must add any fixing charges and profit he requires to all such items.

By-Laws

The whole of the work in this contract is to be carried out in strict accordance with the Local Authorities regulations.

Insurance

The contractor shall at all times keep the whole of the works covered by insurance. Fire and Public liability. Contractors risk.

Temporary Services

The contractor shall arrange for all temporary services of which the cost will be of the employer's care and remove the same on completion of the contract. If temporary services are not practical or available to connect to and permanent connections have to be made, then this connection fee is at the employer's expense, if not covered in the contract.

Maintenance

The contractors shall maintain the property for a period of 31 days after completion and any damage done arising during that time through faulty workmanship shall be made good at the contractor's expense.

Completion

On completion all trade debris is to be removed from the site and the building left clean and ready for occupancy with all services and mechanical parts in good working order.

EXCAVATOR

Generally

The contractor shall of which cost is to the employer's care, remove or cover over vegetation including trees from the area to be built on and bulldoze the site to the levels shown on the drawings.

Excavate

As required for all wall footings, pile footings, steps etc, as shown on the drawings.

Footing excavations are to be not less than 300mm deep or as shown on accompanying drawing.

Excavations are to be stepped to suit the slope of the ground and kept level at the bottom, maintain free from fallen material before placing reinforcing or concrete.

Backfill and ram the earth around the foundations after concrete work has firmly set.

Deposit the surplus soil on the site as directed by the employer.

CONCRETOR

Materials

Concrete shall achieve a strength of 17.5 kpa after 28 days.

Reinforcement to be round deformed mild steel rods or reinforcing mesh, as detailed, free from scale, paint, grease etc.

Form work shall be erected and braced in such a manner the concrete shall finish to the dimensions shown or specified. The form work is to be hosed out and kept wet before and while the concrete is being placed.

Concrete Work

Construct the various footings as detailed on the drawings and reinforced as shown.

Construct the various concrete corners, base walls, steps and porch slabs, chimney foundations etc, as indicated on the drawings and reinforced as shown. Steps to have 150mm risers and 300mm treads or similar.

Hard filling to be pit sand or similar compacted in layers of 150mm depth maximum.

All floor slabs to be laid to true and straight surfaces with a power float finish. Thickness and reinforcing as detailed on the drawings.

Allow to build in all holding down bolts, pipes, wires etc, as required prior to the pouring of the concrete.

Holding down bolts to be 375mm maximum from corners and at 1.2m centres maximum ramset down plates to floor at same spacing.

Piles to be as shown on accompanying drawing set out as shown on the foundation plan and supported on a 100mm thick concrete footing.

CARPENTER

Materials Schedule or to by-law 3604 or shown on accompanying drawing

MATERIAL	SIZE	GRADE
Sub-floor jack studs	100 x 75mm	Rad P. P.T.
Sub-floor bracing	100 x 75mm	Rad P. P.T.
Bearers	100 x 75mm	Rad P. P.T.
Wall plates	100 x 50mm	Rad P. P.T.
Floor joists	150 x 50mm	Rad P. P.T.
Herringbone strutting	50 x 40mm	Rad P. P.T.
Solid bridging	joist depth x 50mm	Rad P. P.T.
Top and bottom plates	100 x 50mm	
	75 x 50mm	Rad P. P.T.
Studs Laser Frame	90 x 35mm	
	70 x 35mm	
	100 x 50mm	
	75 x 50mm	Rad P. P.T.
Trimmer studs		Rad P. P.T.
Lintels		Rad P. P.T.
Noggings (Dwangs)		Rad P. P.T.
	100 x 50mm	
	75 x 50mm	Rad P. P.T.
Bracing	prud	
	100 x 25mm	Rad P. P.T.
Ceiling joists	100 x 50mm	Rad P. P.T.
Ceiling nogging	75 x 50mm	Rad P. P.T.
Rafters	100 x 50mm	Rad P. P.T.
Ridges and hip rafters	200 x 25mm	Rad P. P.T.
Valley rafters	150 x 40mm	Rad P. P.T.
Valley boards	150 x 25mm	Rad P. P.T.
Underpurlins	100 x 75mm	Rad P. P.T.
Roof struts	100 x 50mm	Rad P. P.T.
Collar ties	150 x 25mm	Rad P. P.T.
Roof trusses	Gangnail or similar	
Purlins (iron roof)	75 x 50mm	Rad P. P.T.
Eaves framing	75 x 40mm	Rad P. P.T.
Fascia boards)		
Barge boards)		
Weather boards)	As per drawings	
Vertical boards)		
Exterior facings)		
Scribers	Standard	
Flooring	3.6 x 1.8m	High density
Particle		Board
Interior door jambs	25mm	Custom wood
Architraves (if any)	40 x 13mm	
Skirtings	No 20	Pine
Cornices	As required	
Splash boards	25mm	Rad P. U.T.
Shelving	25mm	Rad P.
Exterior trim	Moulds as required	Rad P. U.T.
Interior trim	Moulds as required	Rad P. U.T.

TRIMMER STUDS

Single On Top Storey

Openings up to 1.3m wide	100 x 50mm
Openings 1.3m to 2.6m wide	100 x 75mm solid or built up
Openings 2.6m to 3.9m wide	100 x 100mm solid or built up

Bottom Of Two Stories

Openings up to 1.05m wide	100 x 50mm
Openings 1.05m to 2.10m wide	100 x 75mm solid or built up
Openings 2.10m to 3.15m wide	100 x 100mm solid or built up

<u>Lintels</u>	<u>Opening Width</u>	<u>Lintels Size</u>
	Up to 1.35m	100 x 75mm
	1.35m to 1.80m	100 x 100mm
	1.80m to 2.40m	150 x 100mm
	2.40m to 3.00m	200 x 100mm
	3.00m to 3.60m	250 x 100mm
	3.60m to 4.20m	300 x 100mm

Construction

All materials are to be the best of their respective kinds due to grades, laid true to their various lines and levels and constructed in a proper tradesmanlike manner to make the whole of the works a sound construction in accordance with the local by-laws.

All timber work abutting or resting on masonry units concrete or brickwork is to be protected with a bitumenfabric damp proof course.

Sub-floor jack studs are to be fixed to foundation piles with 10mm steel pin or No 8 gauge (4mm) galvanised wire ties passed through the piles and well stapled to the jack studs.

Bearers to be in long lengths, halved over jack studs or piles where joined. Sub-floor bracing to be diagonal in both directions as required and as directed by the local authority inspector. Floor joists to be on edge set out to suit the flooring sheets, nailed with one 100mm and one 75mm nail at every crossing and trimmed as required for stairwell openings, slabs etc.

Double the floor joists at each end of the building.

Plates to be in long straight lengths. Bottom plates and wall plates to be butt jointed over continuous support, top plates to be halve jointed or butt jointed and fastened with 100mm nail plates.

Studs

Are to be set out to accommodate 2.4m high wall lining sheets, and are to be held to the plates with two 100mm nails at each end. Bowed studs are to be straightened with saw cuts, wedges and 100 x 25mm or 75 x 25mm strapping.

Lintels

Where built up, trimmer studs are used. One 100 x 50mm stud is to be run up past the trimmer to the top plate and the 100 x 25mm or 100 x 50mm remaining is to run up to the underside of the lintel.

Nogging (Dwangs)

Shall be wall thickness 50mm spaced in rows at 800mm centres maximum, set out to accommodate the wall lining sheets and be nailed with two 65mm nails at each end.

Ceiling Nogging (Dwangs)

To be set out to accommodate the ceiling lining sheets and cornices around the perimeter of each room.

Bracing

To be let in flush with the face of the wall frames and raked as nearly as practicable to 45 degrees and dog-legged as required.

Bracing sheets shall be located as detailed on plans and shall conform to NZS3604:1990.

The Wall Frames

Are to be assembled, squared, braced and erected. The bottom plates are to be straightened and fastened down, the corners are to be plumbed both ways using a plumb bob and line and the top plates are to be held straight with temporary bracing until the ceiling and roof framing and bracing has been completed.

Ceiling Joists

To be on edge and spiked to the wall plates with one 100mm and one 75mm nail at each end. Where practicable, the ceiling joists are to come alongside rafters and to be spiked there too.

Trusses

The roof framing is to be constructed with Engineer designed "Gangnail" roof trusses fixed plumb, fastened to the plates with two wire dogs and braced at each end of the building. Trusses to be braced as shown on plan.

To be plumb cut to ridges and hip rafters and to be birdmouthed to plates and fastened with one 100mm and one 75mm nail to the plates.

Supply and fix the necessary ridge bearers, hip rafters, valley rafters, valley boards, under purlins and roof struts and collar ties as required to complete the roof framing and as detailed on the drawings.

Purlins (Iron Roof)

To be spaced to accommodate the roof covering and ridging and fastened to the rafters with one 100mm nail at every crossing.

Eaves runner to be nailed to the outside of the wall frame.

Eaves bearers to be nailed securely to each rafter overhang.

Exterior Finish

Behind all fibre-cement wall linings and as detailed on the drawings, except if fitted on to tanalised timber, fit a breather type building paper, lapped 100mm. Wall areas are to be covered with exterior lining as shown on the drawings.

Vertical boards are to be fixed over breather type building paper, plumb and in single lengths where possible and fixed with 60mm galvanised nails. Soffits and porch ceilings to be lined with flat fibre cement based sheets with plastic jointer moulds or with materials shown on drawings.

Build in the various exterior joinery frames. Fit head capping and flashing. Provide access to under foundation.

Interior Finish

Flooring to be laid in large single sheets of high density particle board with joints both ways. All joints and edges to be continuously supported by floor joists or nogging cut between the floor joists.

Nail the flooring with 60mm galvanised brad head nails.

On completion of the contract the floor nails are to be punched.

Interior wall linings generally to be 9.5mm sheets fixed with vertical/horizontal joints and nailed with flat headed galvanised clouts.

Wall linings of which the contractor is to take the utmost care of quality control by the responsibility of manufacturers defects will not be rectified at the contractors expense.

All joints nail holes and other imperfections are to be stopped flush and left ready for the paperhanger.

Shower linings to be selected sheets with plastic jointer and corner mouldings.

Ceiling linings see drawing.

Nog for and build in the various joinery fitments as supplied under 'Joiner' and trim to walls.

Nog for and build in the various fittings as supplied under 'Plumber' and trim around with splash boards where needed.

Interior doors are to be fitted with 1 1/2 pairs of loose pin butts.

Architraves if used are to be fitted in single lengths with glued mitred joints.

Skirtings to be fitted to the floor and internal corners and mitred at external angles.

Coat cupboard and wardrobes to be fitted with one shelf 300mm wide fixed 1.800m above the floor and with 20mm galvanised pipe hanger rail under.

Linen, hot water cupboards to be shelved with slatted shelves ex 75 x 25mm.

Form a ceiling access door in a convenient and inconspicuous place.

Co-operate with the electrician in the building for a meter box, the building of the switchboard recess and trim around as required.

Supply and fix the sundry internal finishing mouldings and trim as required.

All internal finishing timbers shall be free from all hammer marks, splits etc.

Maintain a 40mm minimum cavity to be kept clear of all mortar droppings and to be drained and ventilated.

Co-operate with the carpenter in the building in of all exterior joinery.

On completion clean down the exposed faces of all brick work and leave free from all defects.

JOINER

Windows to be Aluminium unless detailed as Timber

Aluminium windows shall be delivered to the site, stored on edge and protected from breakages, damage, plaster splashes etc. To be installed.

Timber window to be of the sizes and types as indicated on the drawings with all member run to standard or J.M.F. 'Sundyne' profile of standard construction and high class workmanship.

The windows are to be glazed with standard quality glass with selected obscured glass to bathroom and W.C. windows as directed on drawings.

Doors

Exterior door frames and doors are to be of standard sizes and of the types as shown on the drawings.

Interior doors are to be flush type.

Fittings

Construct the various fittings as shown on the drawings.

Cupboards are to be of standard construction and divided into door and drawer units.

Sink top as specified under 'Plumber'. Other bench tops to be of selected 'formica' or 'laminex'.

Cupboard doors to be custom wood.

Drawers to have sides joined to fronts and hardboard bottom.

Stairs - Closed Type

To be constructed with stringers, treads and risers. The treads and risers are to be housed glue wedged and glue blocked to the stringer.

SOLID PLASTERER

Materials

Cement to be ordinary Portland cement.

Sand to be clean river sand free from saline, vegetable or earthy matter.

Mortar to consist of sand, cement and a liquid lime based plasticiser mixed according to the lime manufacturer's directions.

Chimney

Supply and erect on precast concrete chimney as indicated on the drawings if required.

All units to be well bedded in mortar.

The corners are to be plumbed both ways and reinforced with No 4 rods, well grouted in.

PLUMBER AND DRAINLAYER

Generally

The whole of the plumbing and drainlaying shall be done in strict accordance to the New Zealand Building Code 1991 and drains shall be laid by registered workmen only.

The plumbing contractor shall obtain all necessary permits for the work.

Exterior Work

Supply and fix all necessary flashings, lead caps in conjunction with the builder to make a thoroughly watertight job.

Supply and fix spouting to all eaves, laid with even falls to downpipes.

Downpipes to run into stormwater drains at foot. Valleys to be standard galvanised laid over building paper.

Water Service

Lay on cold water from the main to a hot water cylinder, set up as shown on the drawings. Provide and set up the cylinder, complete with casing, lagging and thermostatically controlled electric element.

Lay on hot and cold water services to the various fittings as shown on the drawings and to one hose tap positioned as on accompanying drawing.

Hot water service to run in copper. Main and cold water may run in PVC. Temperature limiting valve will be fitted.

Fittings

Provide and set up the fittings as shown on the drawings and provide traps and waste to same.

Bath	- First quality
Vanity unit	- Selected top as shown on drawings
Sink top	- Selected
Shower tray	- Stainless steel or acrylic
WC	- China, wash-down pedestal with plastic double flap seat, plastic flushing cistern
Tub	- Stainless steel
Washing machine	- To be supplied by owner
Taps	- Chrome plate as selected by the owners, exterior hose taps brass

Drains or Street Channel

Stormwater to be taken in PVC stormwater quality pipes to stormwater, main connection or standard soak holes.

Sewer drains to be first quality pipes, 100mm laid with even falls and easy bends to a main connection as directed. If not a sewer, provide one septic tank.

Provide and fix all necessary gulley traps. Terminal and back vents, cleaning eyes, inspection junctions and bends etc, as may be necessary to comply with the local authorities regulation.

INSULATION

The building shall be insulated in accordance with Council requirements.

ELECTRICIAN

Generally

This contract includes the supply and installation of the electric wiring system complete. The whole of the work shall be carried out strictly in accordance with local authorities by-laws and the electrical contract is to obtain all permits from the supply authority and arrange all inspections required.

Supply

Arrange for a mains supply to the building.

Boards

Provide and set up as required a meter box as required by Power Authority requirements.

Provide and set up where directed by Builder an internal distribution circuit breaker board properly mounted and labelled.

Lights

Provide and fix the lights, switches and power outlets as listed on drawings.

Fittings

Allow the order, delivery of and installation of one electric range as per the standard brochure.

Allow to wire up the thermostatically controlled hot water cylinder element.

Earth all metal wastepipes and metal fittings as required by the regulations.

PAINTER AND PAPERHANGER

Generally

All paint and varnish to be delivered to the job in new tins, unopened and currently useable.

Exterior

Woodwork - prime, stop and paint in one undercoat and one finish coat with a good finish.

Stained work - one coat of stain. The nail holes etc, are to be stopped.

Metal work, including spoutings, downpipes, wrought iron work etc approved primer for galvanised iron. One undercoat and one finish coat.

Cement based sheets - two coats. Solid plaster and concrete block work to be left unpainted.

Interior

All ceilings to be given two coats of flat ceiling paint or textured.

All wall area to be lined with wallpaper, hung in single lengths, plumb with butt joints unless otherwise stated.

The quality control of the wallpaper is not of the contractors care. Any defects which become pronounced due to the nature of the wallpaper will not be rectified at the contractors expense. When walls are sprayed, workmanship is to be of highest trade practice.

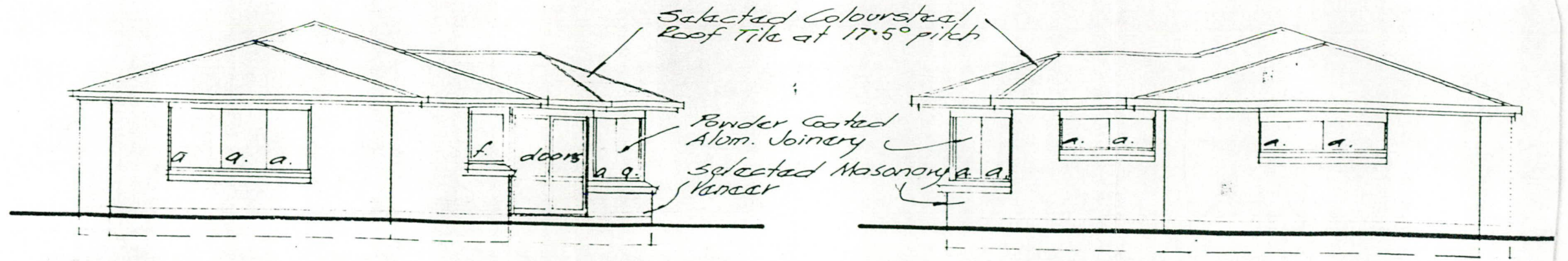
PC value \$ sum - As per schedule of material and works.

Flush doors if stained only to be sealed and given one coat of satin finish varnish. To be rubbed down between coats. All other interior finishing woodwork to be primed, stopped, undercoated and finished.

Completion

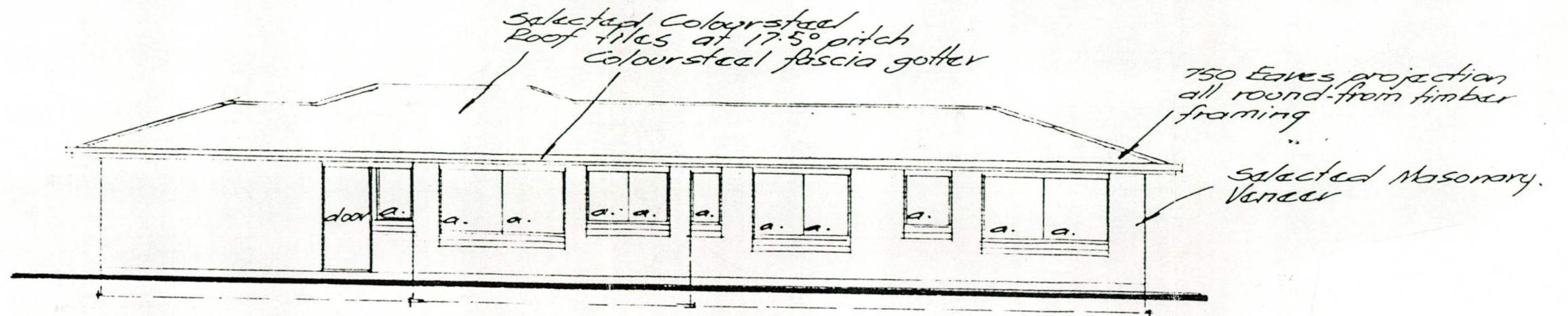
On completion the residence is to be left clean and tidy. All trade debris is to be removed from the site and the building left clean and ready for occupancy.

**GREIG
JOB.**

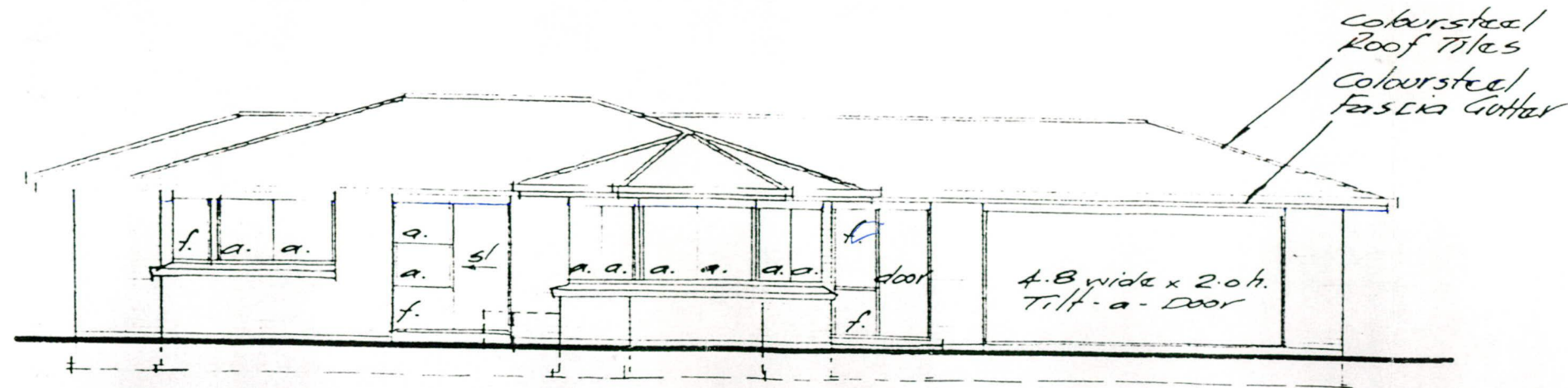


1:100 ELEVATION 3

ELEVATION 4.



1:100 ELEVATION 2.



1:100 ELEVATION 1.

Waitara District Council

Referred to: _____

Time: _____

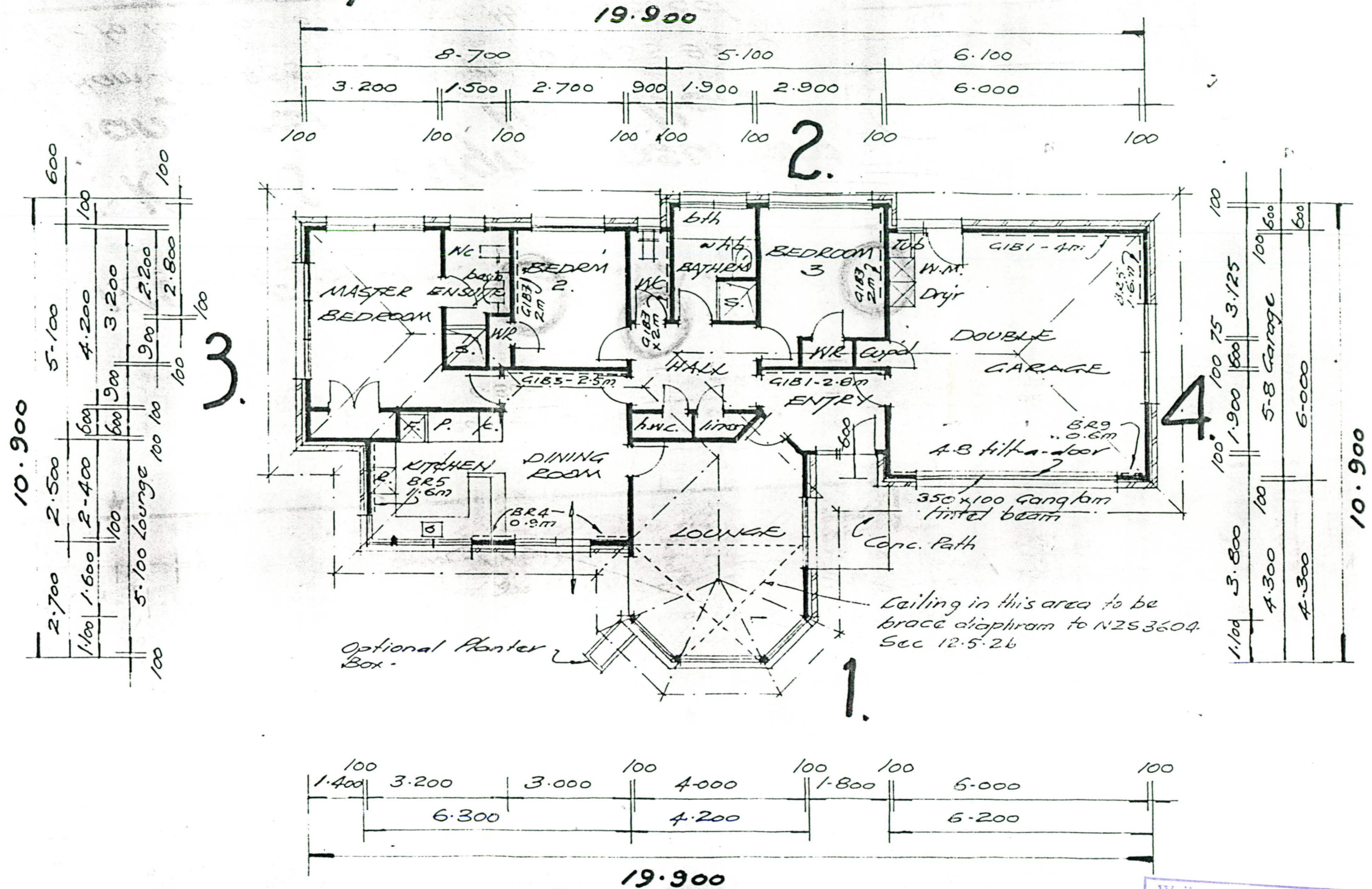
31 OCT 1997

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Instructions: _____

COUNTER

1:100 ELEVATION 1.



1:100 FLOOR PLAN

Waikato District Council

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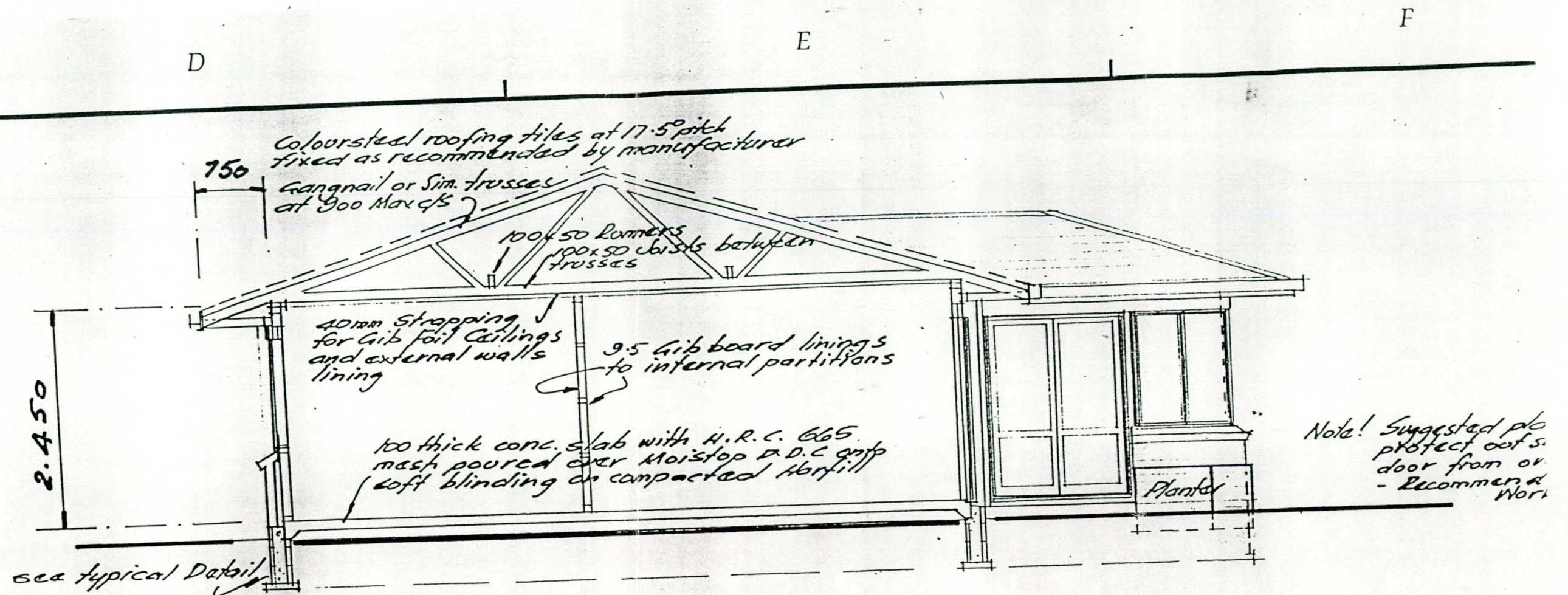
Time:

31 OCT 1997 REC'D

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Instructions:

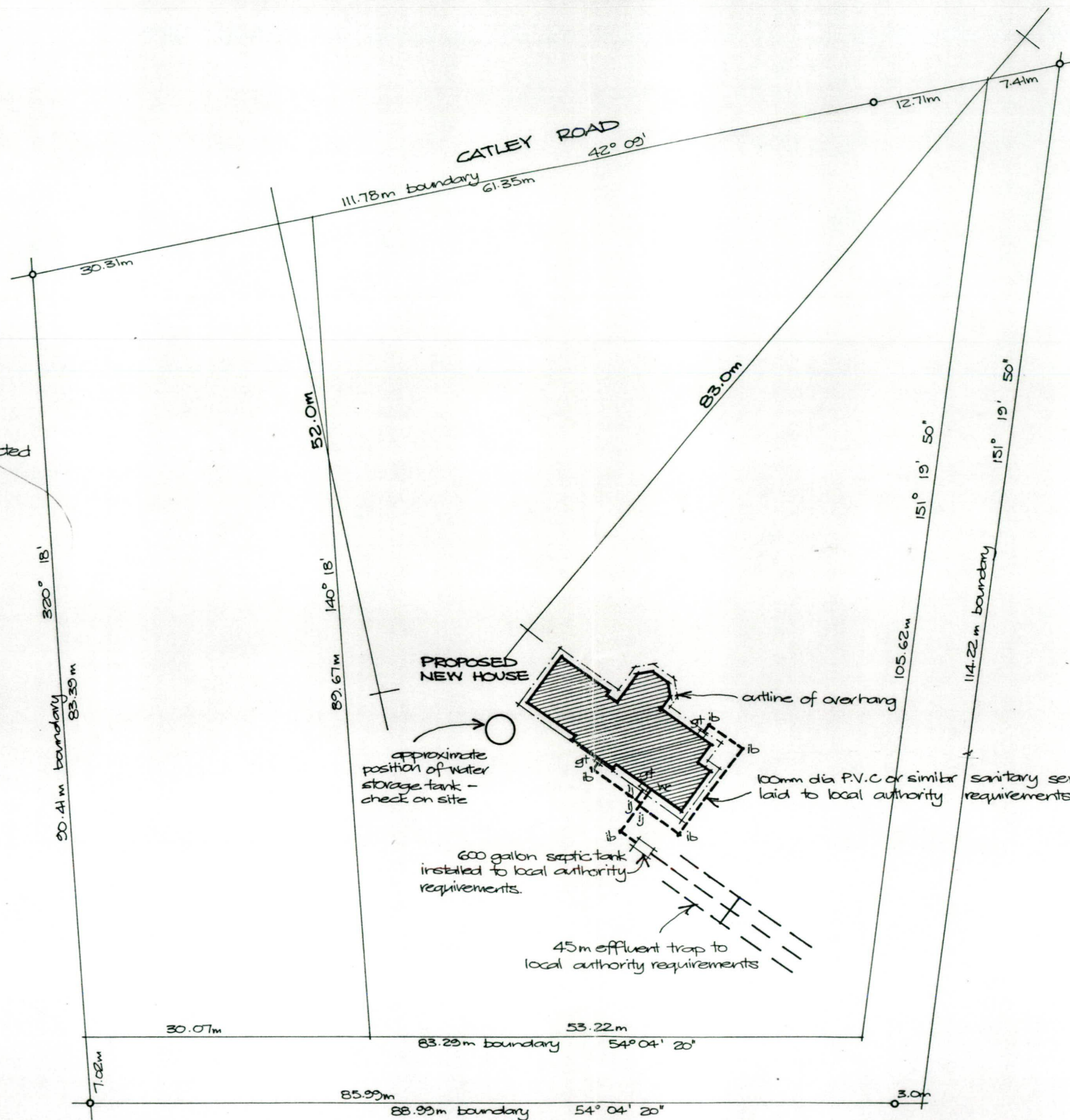
COUNTER



1:50 CROSS SECT A-A

Walter D's list	
Referred to:	
Time:	
REC'D	31 OCT 1997
Copy to:	
Instructions:	
COUNTER	

NOTE:
all roof water to be directed
into water storage tank.



LEGAL DESCRIPTION
LOT 2
DPS
AREA 1.0040 ha

SITE AND DRAINAGE PLAN

scale 1:500

NEW HOUSE FOR K AND P GREIG

CATLEY ROAD - O R I N I

Waikato District Council	
Referred to:	
Time:	
31 OCT 1997	RECD
Copy to:	
Instructions:	
COUNTER	

date: OCT 97

sheet:

of:

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A	199		GIB1	4.0			50	200
B	70		GIB3	2.5			60	150
			GIB1	2.8			50	140
C	185		BR4	0.9			85	76.5
			BR4	0.9			85	76.5
			BR9	0.6			95	57

Totals Achieved

W

E

700

From Sheet A Totals Required

Wreq/Ereq = 0.81 *

W

479.6

E

595

*If Wreq/Ereq is 1 or less complete E column only
 If Wreq/Ereq is 1.5 or more complete W column only
 Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M	76		BRS	1.6			85	136
N	70		GIB3	2.0			60	120
O	109		GIB3	2.0			60	120
P	109		GIB3	2.0			60	120
Q	60		BRS	1.6			85	136

Totals Achieved

W

758

E

632

From Sheet A Totals Required

Wreq/Ereq = 1.24 *

W

736.3

E

595

Wall Bracing Calculation Sheet A

Job Details

box 1

Name K and P Greig
 Street and Number Catley Road
 Lot and DP Number Lot 2 D.P
 City/Town/District Orini
 Location of Storey: single/upper of two/lower of two
 Building height to apex 4.4 m Roof weight light/heavy
 Roof height above eaves 1.8 m Cladding weight light/heavy
 Stud height 2.4 m Room in roof space yn
 Average roof pitch 17.5°
 Building length BL = 19.9 m Gross Building 175
 Building width BW = 10.9 m Plan Area, GPA = 175 m²
Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: 0 ☒ Inland 0 ☒ Sheltered 0 ☒ Topography: 0 ☒ Gentle
 R2 1 ☐ Coastal 1 ☐ Exposed 1 ☒ Moderate 1 ☐ Extreme 3
 Total points 1
 Wind zone: Low (0) Very high (3)
Medium (1) Specific Design (4)
High (2)

Waikato District Council
 Referred to: _____
 Time: _____
 RE D 31 OCT 1997
 Copy to: _____
 Instructions: _____
 COUNTER

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BUs required Wind

box 4

From Table W1A/W1B
 W along = 44 BUs/m
 W across = 37 BUs/m
 Total wind load,
 W ALONG:
 W along x BW = 479.6 BUs
 W ACROSS
 W across x BL = 736.3 BUs

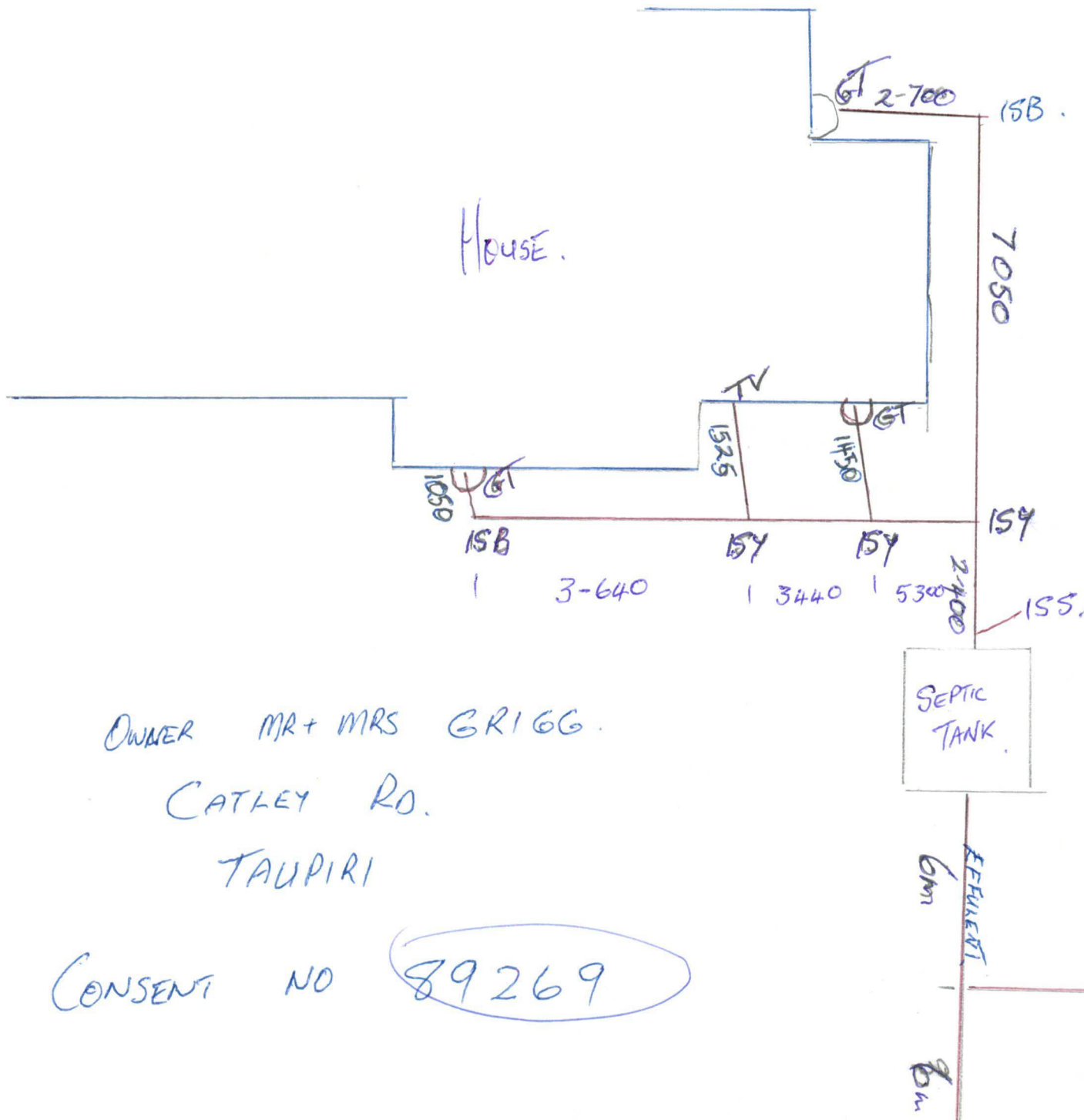
BUs required Earthquake

box 5

From Table EQ1
 E = 3.4 BUs/m²
 Note: For a room in the roof space use E+1
 Total earthquake load,
 EQ ALONG and EQ ACROSS:
 E x GPA BUs = 595 BUs

Waikato District Council	
Referred to:	
Time:	10.55am
REC'D	6 MAR 1998 REC'D
Copy to:	
Instructions:	
NGA COUNTER haw	

NICK



OWNER MR + MRS GRIGG.
 CATLEY RD.
 TAUPIRI

CONSENT NO 89269

Form 7
CODE COMPLIANCE CERTIFICATE
Section 95 Building Act 2004

The Building

Street address of building:	65 Catley Road ORINI
Legal description of land where building is located:	LOT 2 DPS 77565
Valuation number:	04414/067.01
Property number:	2002943
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A
Current, lawfully established, use:	Outbuildings
Number of occupants per level and per use if more than 1:	N/A
Year first constructed:	2017

The Owner

Name of owner: D M Vickers, C J Moore
Mailing address: 65 Catley Road, RD 2, Taupiri 3792

Street address/registered office: N/A

Phone numbers:

Landline:	N/A	Mobile:	021-02655880
Daytime:	021-0787784	After hours:	N/A
Facsimile number:	N/A	Email address:	littledevildebbie@gmail.com
Website:	N/A		

First point of contact for communications with the building consent authority

Name: Versatile Home and Buildings Limited - Cambridge
Mailing address: PO Box 694, Cambridge 3450

Phone numbers:

Landline:	07-8231141	Mobile:	027-5619022
Facsimile number:	07-8231151	Email address:	cambridge@versatile.co.nz

Building Work:

Project: **Garage**
Building consent number: **BLD0293/18**
Issued by: **Waikato District Council**

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent.

Signature:

Name: **Greg Finch**
Position: Building Inspector
On behalf of: Waikato District Council

Date: 06 June 2019

Form 5
BUILDING CONSENT NO: BLD0293/18
Section 51, Building Act 2004
ISSUED BY: WAIKATO DISTRICT COUNCIL

The Building

Street address of building:	65 Catley Road ORINI
Legal description of land where building is located:	LOT 2 DPS 77565
Valuation Number: 04414/067.01	Property Number: 2002943
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A

The Owner

Name of owner:	D M Vickers, C J Moore
Contact person:	Craig
Mailing Address:	65 Catley Road, RD 2, Taupiri 3792

Street address/registered office: 65 Catley Road, RD 2, Taupiri 3792

Phone numbers:

Landline:	N/A	Mobile:	021-078 7784
Daytime:	N/A	After hours:	N/A
Facsimile number:	N/A	Email address:	littledevildebbie@gmail.com
Website:	N/A		

First point of contact for communications with the Building Consent Authority

Name:	Versatile Home and Buildings Limited - Cambridge
Mailing Address:	PO Box 694, Cambridge 3450

Phone numbers:

Landline:	07-8231141	Mobile:	027 561 9022
Daytime:	07-8231141	Fax number:	07-8231151
Email address:	cambridge@versatile.co.nz		

Building Work

The following building work is authorised by this building consent:

Garage

Project type:	Garage	\$27,801
---------------	--------	----------

Total Value of work:	\$27,801
----------------------	----------

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Waikato District Council
Building Consent No: BLD0293/18

This Building Consent is subject to the following conditions:

I. Inspections:

When booking your inspections please phone (07) 824 8633 or (0800) 492 452 and quote your building consent number. Whilst we will endeavour to provide inspections in a timely manner, please provide **at least 48 hours notice** prior to any of the following mandatory inspections. (Click [here](#) for more information on Inspections & Certification)

- Excavation, Siting and Prefloor (prior to pouring concrete) - *Owner/builder to locate boundary pegs prior to council carrying out a foundation/siting inspection.*
 - Final Building (Code Compliance Certificate) to be called for - *Some final inspections require Council to have access into the building. If no-one is onsite to allow access to the interior of the building it is likely the inspection will fail.*
- 2. The following documents from third parties need to be provided to the BCA to certify that the building work complies with the plans and specifications and in order for Council to issue a CCC: (Click [here](#) for more information on Producer Statements & Memoranda)**

Certificates / Memorandums / Statements / Letters:

- Code Compliance Certificate application
- Electrical Compliance Certificate (if applicable)

Compliance Schedule:

- A compliance schedule is not required for the building.

Advisory Notes:

- Stormwater shall be disposed of in an approved manner.
- All roof trusses shall be designed and fabricated by a certified manufacturer.
- All timber treatment shall comply with NZS 3602:2003.

Lapsing of a building consent:

A building consent lapses and is of no effect if the building work to which it relates does not commence within:

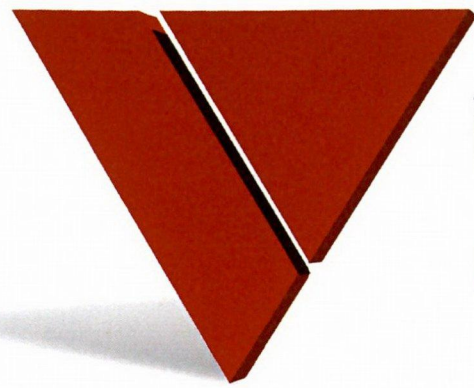
- a) 12 months after the date of issue of the building consent or
- b) Any further period that the building consent authority may allow.

Code Compliance Certificate will be issued after your final inspection has been carried out and passed, you have applied for your Code Compliance Certificate and all documentation has been received and approved. (Click [here](#) for your CCC application form).

Signature:



Name: Anne Saunders
Position: Building Administrator
On Behalf of: Waikato District Council
Date: 03 October 2017



VERSATILE[®]
HOMES & BUILDINGS

ENGINEERED BY:



MiTek New Zealand Limited

MITEK[®]

LUMBERLOK[®]

BOWMAC[®]

**PRODUCER STATEMENT
AND
STRUCTURAL DETAILS**

CLIENT:

Craig Moore
65 Catley Road
Orini

Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

APPROVED

BUILDING:

VRS Project Ref: 1600125Moore
Model: Versatile 600 Series
Size: 7.200m long x 6.600m wide, 2.420m stud height
Wind Zone: High
Snow Loading: None region, $S_g = 0.0\text{kPa}$
Earthquake Zone: 1
Soil Class: D&E Deep to very soft
Roof Details: 15 degree pitch, 6 Rib 0.35mm roofing
Trusses: 90x45mm kiln dried H1.2, stress graded timber as per floor plan
Wall Framing: 90x45mm kiln dried H1.2, stress graded timber
Cladding: Versaclad (weatherboard) rollformed steel profile
Downpipe Size: Round PVC 65mm Diameter PVC
Floor Type: Concrete

BUILDING CONSENT AUTHORITY:

Waipa District Council

INDEX

1	Contents
2	Site Plan
3	Producer Statement
4	Durability Statement
5	Concrete Floor Plan
6	Foundation Details
7	Floor Plan General
8	Floor Plan Electrical
9	Elevations
10	Unlined Cross Section
11	Opening Details
12	Roof Framing
13	Truss Design
14-15	Truss Fixing Details
16	Roof Bracing
17	Wall Bracing Demand
18-19	Wall Bracing Achieved
20	Bracing Elements
21-23	Flashing Details

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VB2000 - Design

Sheet 1 of 23



Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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PROPOSED
NEW GARAGE

65 Catley Rd







PRODUCER STATEMENT - PS1 - DESIGN

(Guidance notes on the use of this form are printed adjacent)

Building Code Clause(s) B1 and B2

ISSUED BY: MiTek New Zealand Limited
(Design Firm)

TO: Spanbild New Zealand Limited
(Owner/Developer)

TO BE SUPPLIED TO: Waipa District Council
(Building Consent Authority)

IN RESPECT OF: Proposed Building (Garage)
(Description of Building Work)

AT: 65 Catley Road, Orini, New Zealand
(Address)
LOT DP SO SO

We have been engaged by the owner/developer referred to above to provide Engineering Design services in respect of the requirements of clauses B1 and B2 of the Building Code for All ☐ or Part only ☒ (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by the Ministry of Business, Innovation & Employment

B1/VM1, B2/AS1, AS/NZS 1170 (Parts 0, 1, 2 & 3), NZS 3603:1993, NZS 3604:2011
The proposed building work covered by this producer statement is described on the drawings titled

VB2000 - Design and numbered Sheets 1, 3-4, 7, 9-20 together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

(i) Site verification of the following design assumptions:
Building IL1, Light roof, Max. height 4.2m

(ii) All proprietary products meeting their performance specification requirements;

and are selected in accordance with NZS3604:2011 Section 4 Durability

(iii) Timber treatment shall be selected in accordance with B2/AS1 Table 1A and relevant sections of NZS3602:2003

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☒ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)

I, Claude Antony Carter Cook, am: ☒ CPEng 240891 #
(Name of Design Professional)

☐ Reg Arch #

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: CP Eng, IntPE, BE(Hons)
The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☐

SIGNED BY Claude Antony Carter Cook ON BEHALF OF MiTek New Zealand Limited
(Design Firm)

Date 19 August 2017 (signature) *CAC*

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

PRODUCER STATEMENT PS1

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October 2013

EXPLANATION

This design covers the structural aspects of a Versatile 600 Series building. The sequence of design information is broken down into the following categories:

- Foundation.
- Wall Framing.
- Truss Design.
- All Structural Fixings.
- Building Bracing Design for both Roof and Walls.

All other aspects of the structure are constructed in accordance with the standard Versatile Buildings details.

These buildings have been designed for a Building Importance Level 1, with a 50 year working life. Refer to AS/NZS 1170.0:2002

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DESIGN LOADS

Dead Loads for Light Roof:

Truss Top Chord= 0.15kPa (includes weight of trusses, purlins, associated framing and zincalume roof).
Truss Bottom Chord=0.20kPa for trusses @ 1200crs with ceiling.

Live Loads:

Truss Top Chord= 1.1kN concentrated load, 0.25kPa uniform load.
Truss Bottom Chord=0.9kN concentrated load below 1200mm head height and 1.4kN concentrated load above 1200mm head height.

Wind Loads:

Building designed for High wind conditions.

Seismic loads:

Building designed for Seismic Zone 1.

Snow loads:

Buildings designed for None, Sg = 0.0kPa

Refer to MiTek New Zealand Limited for any design modifications required for increase in snow loads or wind loads above those stated on the drawings.

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Building Consent
Amendment Number
BAMD bld0293/18

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DESIGN REFERENCES

- NZS3603:1993
- NZS3604:2011
- AS/NZS1170 Part 0:2002
- AS/NZS1170 Part 1:2002
- AS/NZS1170 Part 2:2011
- AS/NZS1170 Part 3:2003
- ANSI/TPI1 - 2002



For: Craig Moore
65 Catley Road
Orini

VB2000 - Design

Producer Statement

Sheet 3 of 23

MANUFACTURERS DURABILITY STATEMENT

INTRODUCTION.

To satisfy the requirements of Clause B2: 'Durability' of the New Zealand Building Code, the following provisions must apply to the metal cladding.

RANGE OF PRODUCT AND USE.

Specification: AS1397:2001
 Coating Type: Zinc/Aluminium & Painted
 Steel Thickness Range: 0.35mm - 0.95mm BMT
 Steel Grade Range: G300 - G550
 Application: Cladding for Building Importance Level 1, with a 50 year working life.
 Refer AS/NZS 1170.0:2002
 Fasteners: Galvanised clouts. Aluminium rivets for all steel components.
 IFI114:1986

REQUIREMENTS, LIMITATIONS AND EXCLUSIONS.

- Applicable to buildings in sea-spray Zone D and exposure Zones B and C in accordance with Section 4, Durability, NZS 3604:2011 which is an acceptable solution under Clause B2 of the NZBC.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Specifications.
- Normal and regular maintenance must be carried out on the exterior surface of the cladding, and the following guide must be followed to ensure the durability requirements are met.

REGULAR MAINTENANCE.

Exposure Zones B and C. (All areas other than sea-spray zones - see below)

- Rain washing only required on the exposed sections. Sheltered or protected areas such as under spouting, top cladding boards and tops of doors require washing every three months.

Sea-spray Zone D (Within 500m from the sea or 100m from sheltered harbours or inlets) and areas of geothermal activity.

- Rain washing only required on exposed areas. Sheltered and protected areas such as under spouting, top cladding boards and tops of doors require washing down every month and when corrosive salts are present.

EXTENDED MAINTENANCE, PAINTING OR REPAINTING.

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Extended Durability

- Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material painting of the entire surface is required to extend the life of the cladding product. Paint manufacturer's recommendations are to be followed for the surface preparation and paint type to be used.

Evident Corrosion

- Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products. Present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the paint manufacturer's recommendations is then required. Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may have started, due to moisture and dirt entrapment. If evident corrosion is not treated quickly, rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

REFERENCES.

1. NZBC - Compliance Document - Clause B2 - Durability.
2. NZS 3604:2011, Section 4, Durability*

*NZS3604 has been used as a reference only to identify Corrosion zones, Sea-spray zones.

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 Building Consent
 Amendment Number
 BAMD bld0293/18

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DIMENSIONS IN mm UNLESS OTHERWISE STATED THIS IS A C.A.D. DRAWING AND MUST NOT BE ALTERED BY MANUAL METHODS

LEGEND



Diagonal: 9739

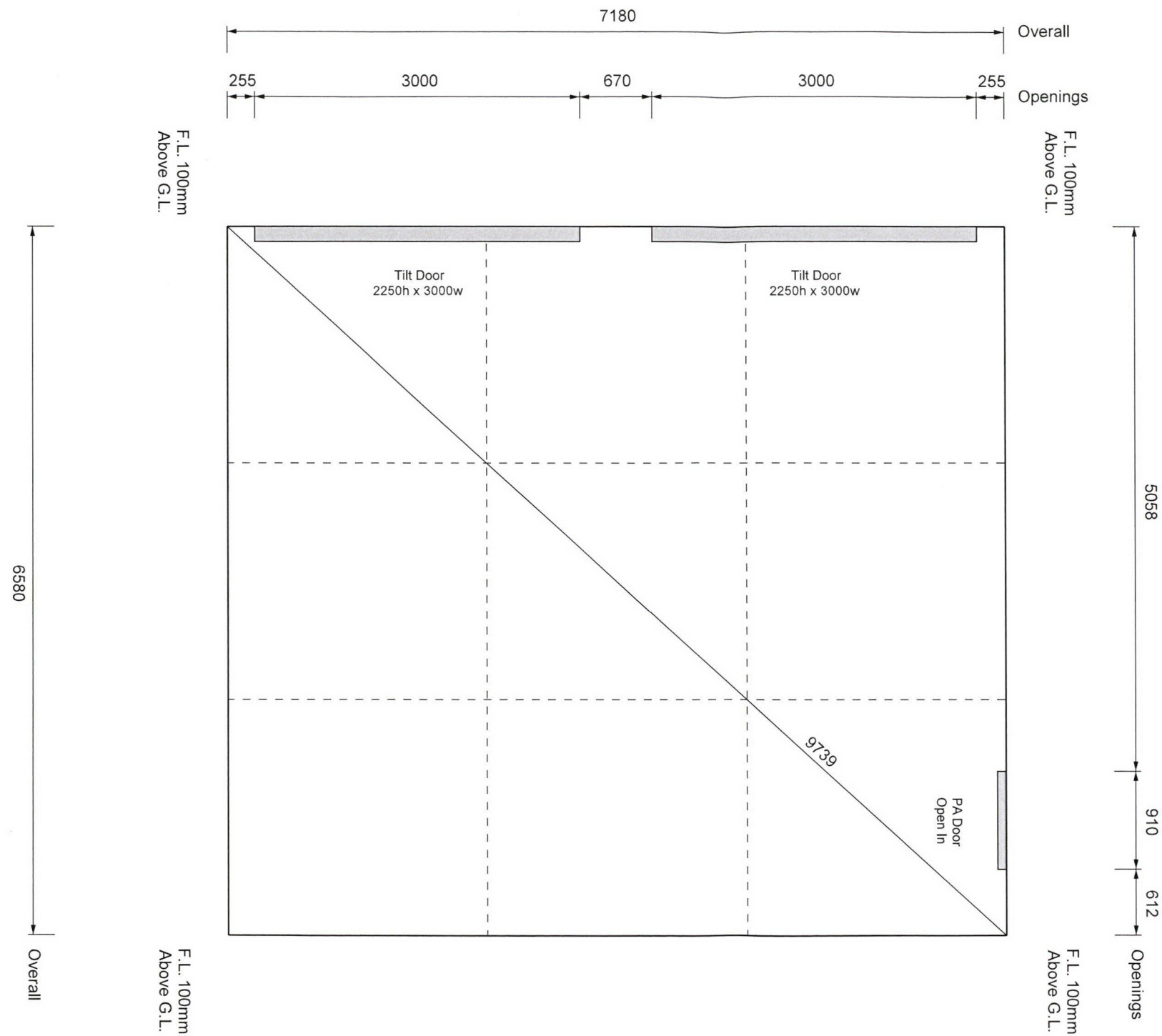


Expansion Cut

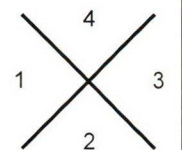
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Amendment Number
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SCALE A3-1:50



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For: Craig Moore
65 Catley Road
Orini

VB2000

Concrete Floor Plan

Sheet 5 of 23

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PRODUCER STATEMENT - PS1 - DESIGN

(Guidance notes on the use of this form are printed adjacent)

ISSUED BY: Calibre Consulting Limited (Project Ref: 707370)
(Design Firm)

TO: Spanbild New Zealand Limited
(Owner/Developer)

TO BE SUPPLIED TO: Waipa District Council
(Building Consent Authority)

IN RESPECT OF: Stand alone, non-habitable importance level 1 (IL1 - 50 year design life), building slab and foundation
(Description of Building Work)

AT: 65 Catley Road, Orini
(Address)

LOT DP SO

We have been engaged by the owner/developer referred to above to provide Structural Engineering Design services in respect of the requirements of

Clause(s) B1 (Refer to Note 1 re: durability) of the Building Code for All ☐ or Part only ☒ (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by the Ministry of Business, Innovation & Employment B1/VM1, B1/VM4
(verification method / acceptable solution)

The proposed building work covered by this producer statement is described on the drawings titled

VB2000 IL1 Foundation and numbered Sheets 5-6 together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions: Subsoil is good ground except that ultimate bearing capacity is 300kPa or 100kPa and design loadings as noted.
- (ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☒ as per agreement with owner/developer (Architectural)

I, John McCurran, am: ☒ CPEng 48451 #
(Name of Design Professional)

☐ Reg Arch #

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE(Civil)
The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☒

SIGNED BY John McCurran ON BEHALF OF Calibre Consulting Limited
(Design Firm)

Date 19 August 2017 (signature) Building Consent lodgement must be prior to 15 April 2018

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

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October 2013

GARAGE FOUNDATION DETAIL

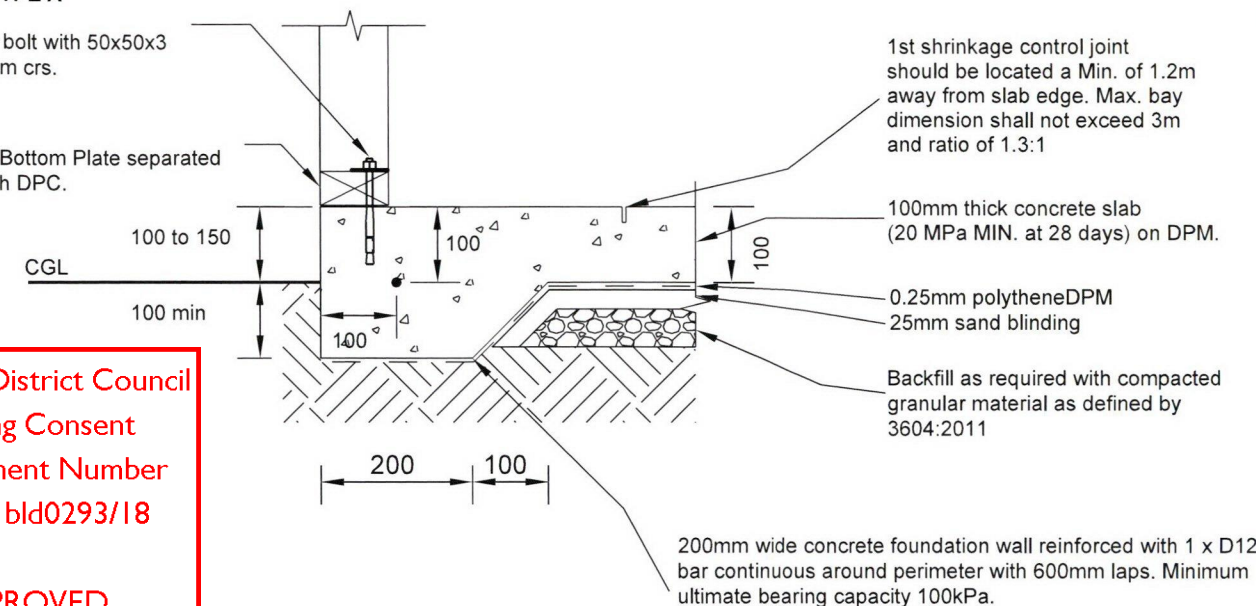
Notes:

- Concrete Covers have been selected in accordance with NZS 3101, Part 1 Section 3.
- Strip the site, removing vegetation, turf, soils containing organic matter and any loose or soft material, trim to a firm subgrade. Backfill as required with compacted granular material as defined by 3604:2011.
- Footing Type A shall be found in good ground defined by NZS 3604 but having a minimum ultimate bearing capacity of 100kPa.
- Where the ultimate bearing capacity is less than 100kPa use Footing Type B.

FOOTING TYPE A

M12x135 Anchor bolt with 50x50x3 washer at 1200mm crs.

90x45 SG8 H1.2 Bottom Plate separated from concrete with DPC.



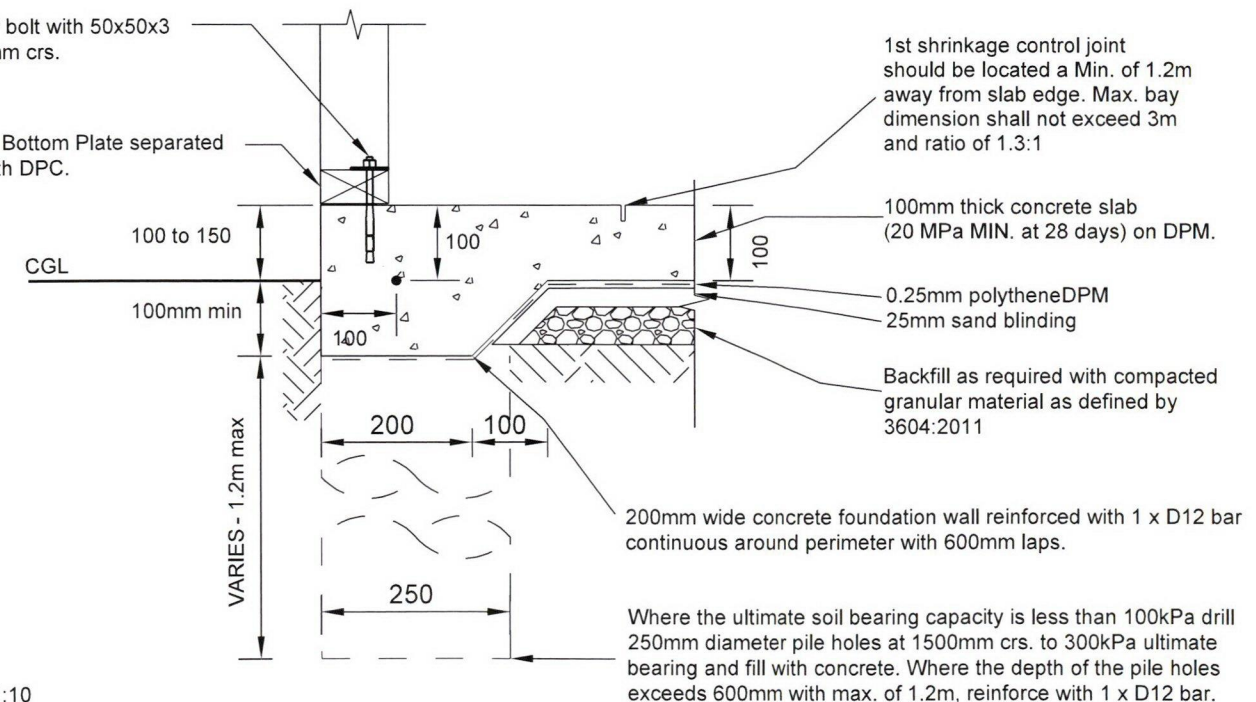
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Building Consent
Amendment Number
BAMD bld0293/18

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FOOTING TYPE B

M12x135 Anchor bolt with 50x50x3 washer at 1200mm crs.

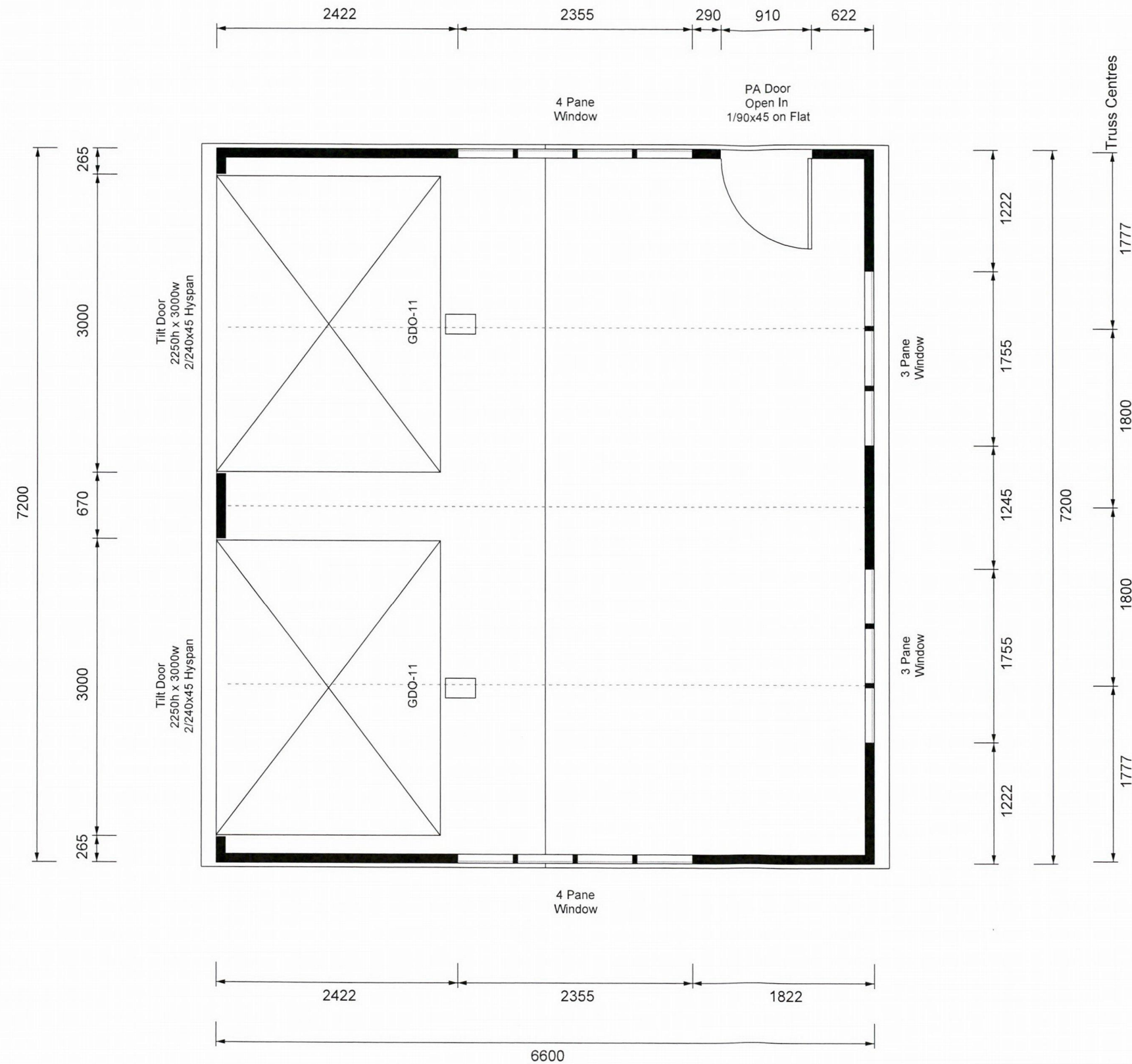
90x45 SG8 H1.2 Bottom Plate separated from concrete with DPC.



SCALE: A3-1:10

Where the ultimate soil bearing capacity is less than 100kPa drill 250mm diameter pile holes at 1500mm crs. to 300kPa ultimate bearing and fill with concrete. Where the depth of the pile holes exceeds 600mm with max. of 1.2m, reinforce with 1 x D12 bar.

DIMENSIONS IN mm UNLESS OTHERWISE STATED THIS IS A C.A.D. DRAWING AND MUST NOT BE ALTERED BY MANUAL METHODS



LEGEND

Tilt Door

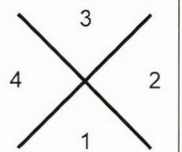
GDO11 GDO11 Auto Opener

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24/8/17

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Building Consent
Amendment Number
BAMD bld0293/18

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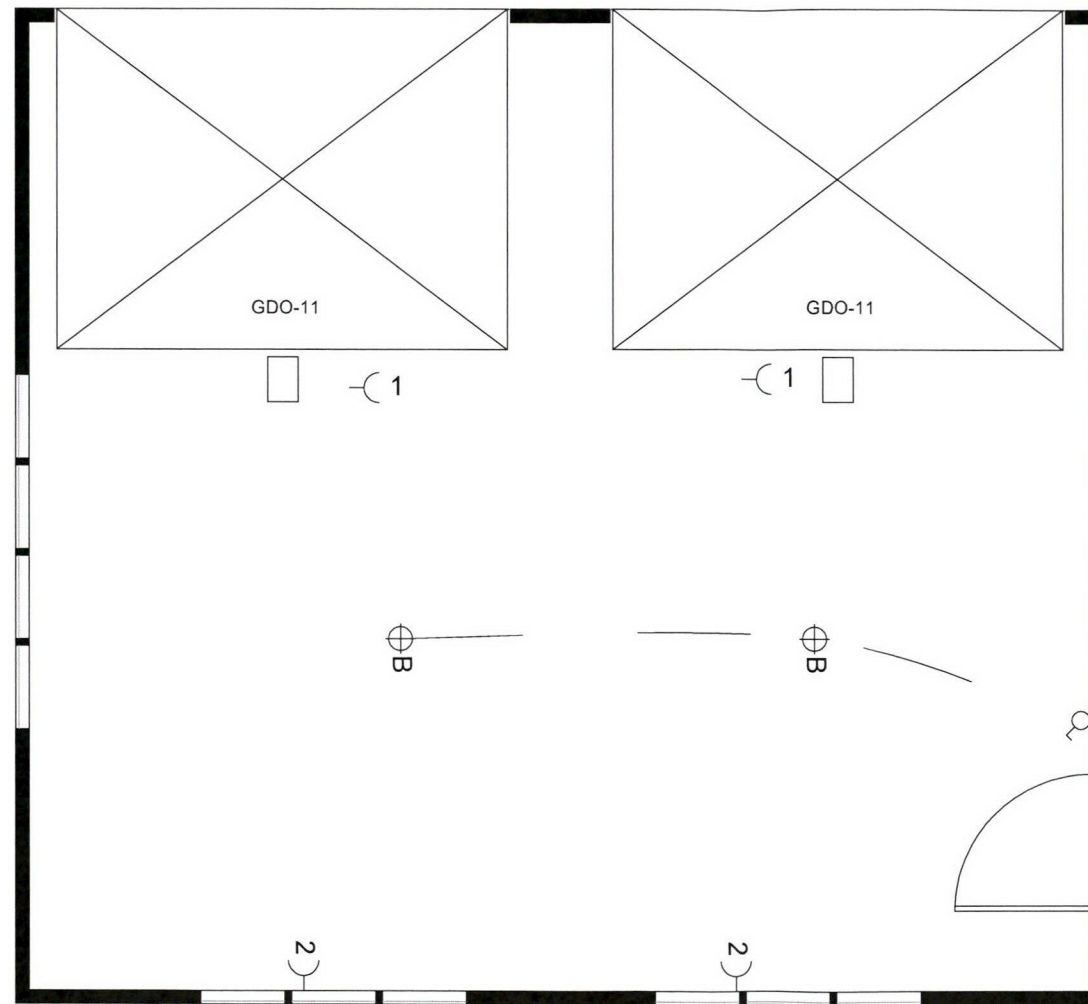


For: Craig Moore
65 Catley Road
Orini

VB2000 - Design

Floor Plan General

Sheet 7 of 23



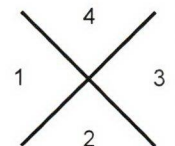
LEGEND	
	Batten Holder
	Light Switch
	Single Power Outlet
	Double Power Outlet

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24/8/17

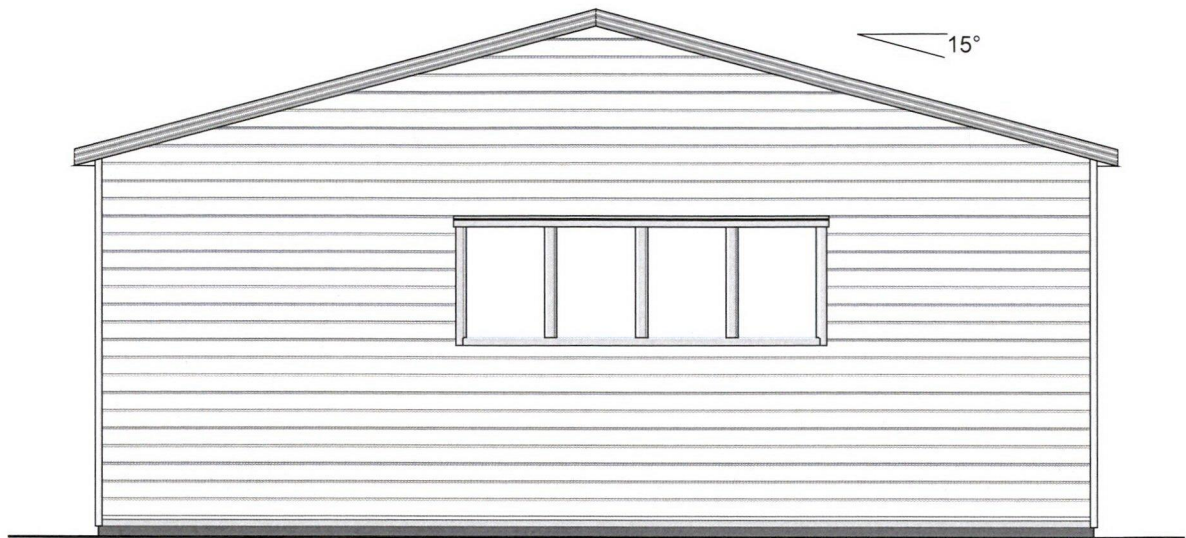
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Building Consent
Amendment Number
BAMD bld0293/18

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24/8/17



4 Pane
Window

ELEVATION VIEW 1

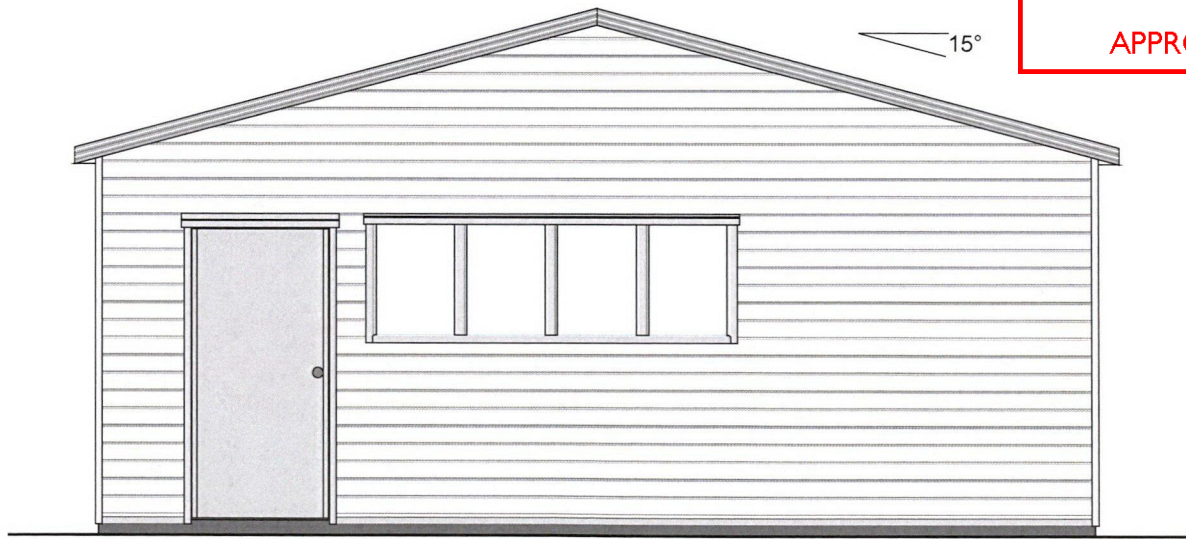


3 Pane
Window

3 Pane
Window

ELEVATION VIEW 2

CCC General Inspection Completed 4/01/2018 PASS



PA Door
Open In

4 Pane
Window

ELEVATION VIEW 3



Tilt Door
2250h x 3000w

Tilt Door
2250h x 3000w

ELEVATION VIEW 4

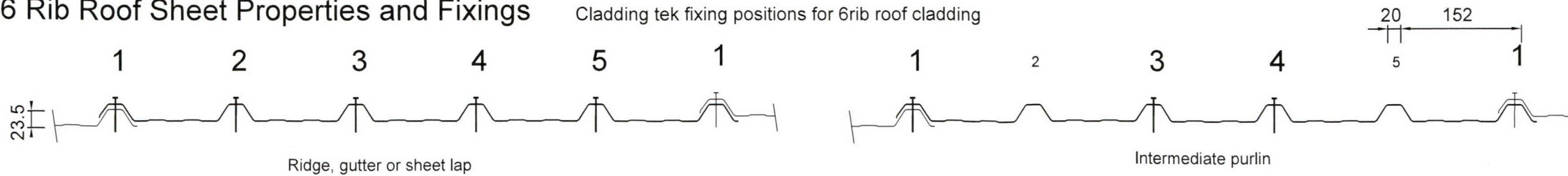
SCALE A3-1:50

Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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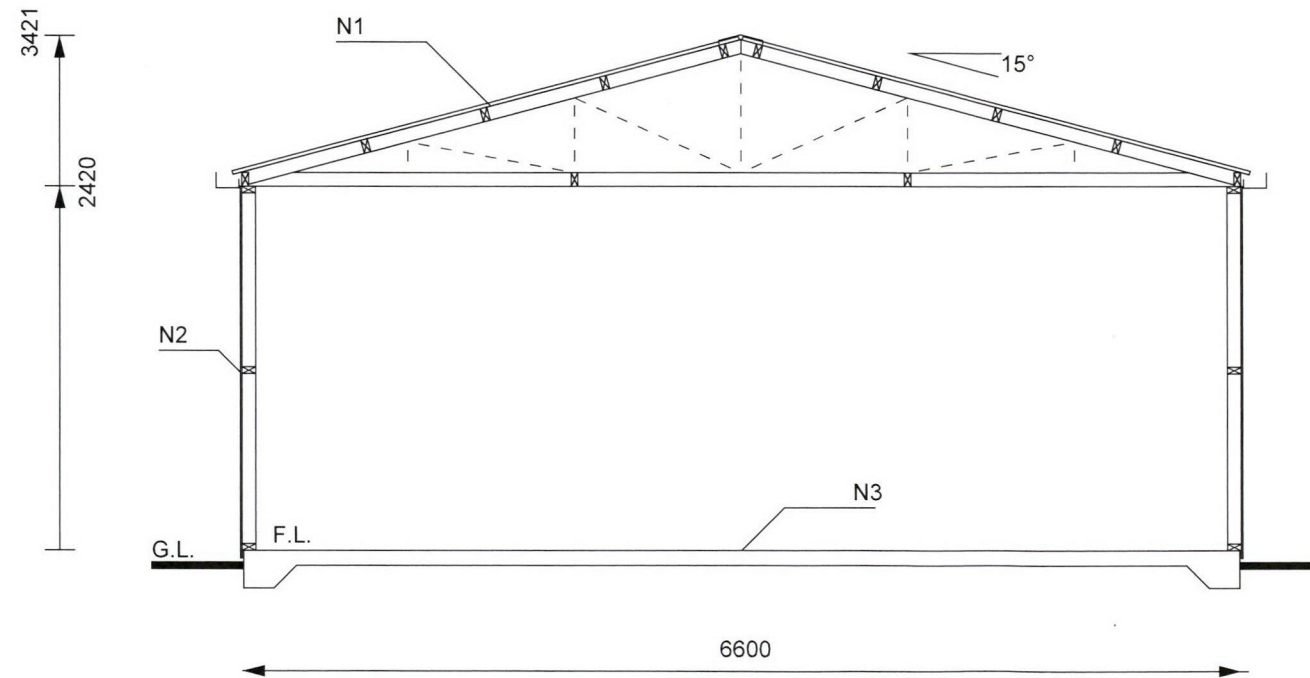
6 Rib Roof Sheet Properties and Fixings

Cladding tek fixing positions for 6rib roof cladding



Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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SCALE A3-1:50

NOTES

N1 : ROOF

- 6 Rib 0.35mm roofing over roofing underlay over 90x45 SG8 H1.2 purlins @ 1000mm centres max, fixed between trusses.

- For purlin fixings and bottom chord truss stiffeners refer to 'Roof Framing' sheet 12 of 23.
- For truss centres refer to 'Floor Plan General' sheet 7 of 23.
- For truss design and fixings refer to 'Truss Design' sheet 13 of 23 and 'Truss Fixing Details' sheets 14-15 of 23.

N2 : WALLS

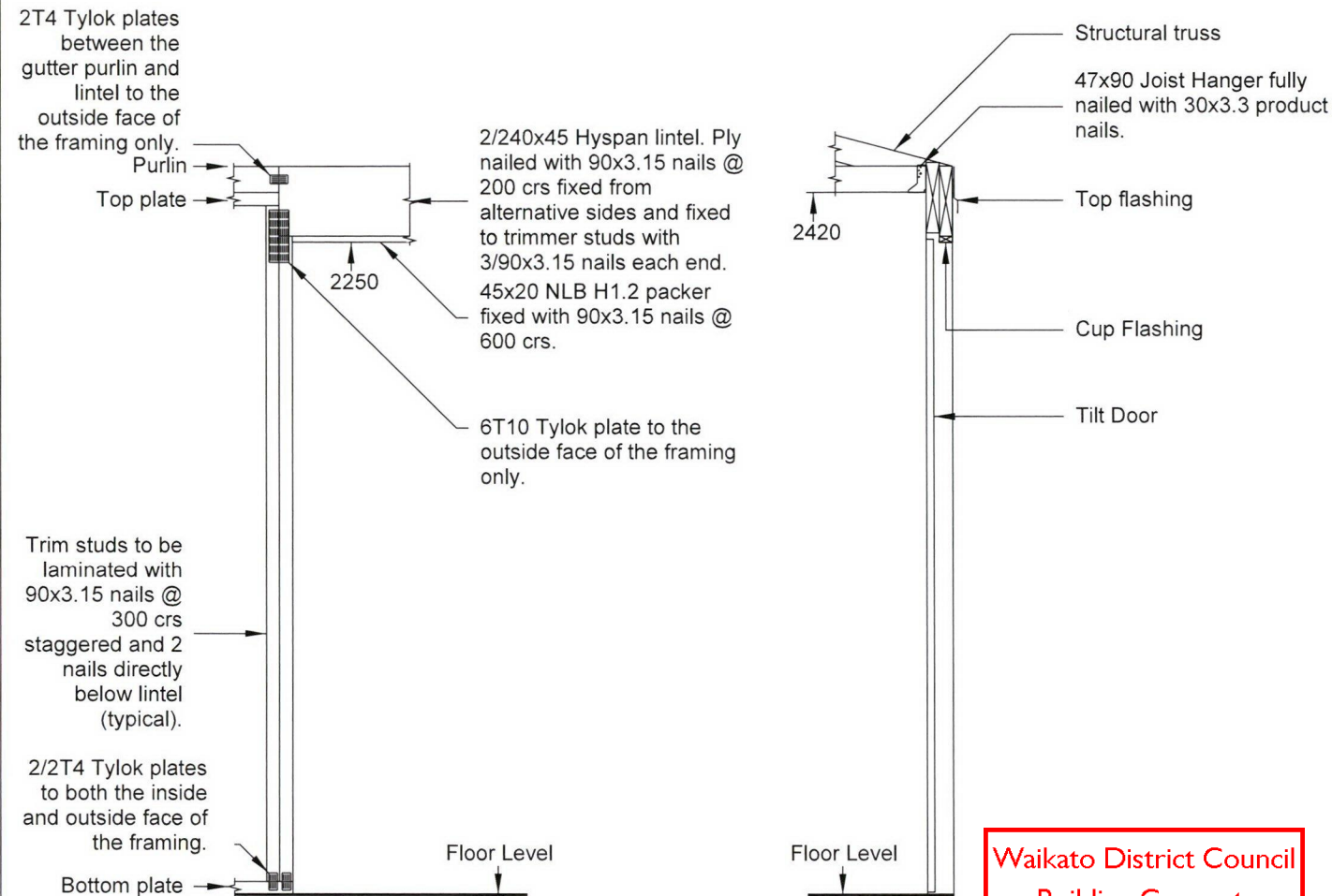
- Versaclad cladding over 90x45 SG8 H1.2 studs @ 600mm centres max with 1 row of 90x45 NLB H1.2 dwangs.

N3 : FLOOR

- For foundation details refer to 'Foundation Details' sheet 6 of 23.
- H1.2 Bottom plate to be fixed to the foundation with M12x135 Anchor bolt with 50x50x3 washer at 1200mm crs.

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24/8/17

TILT DOOR



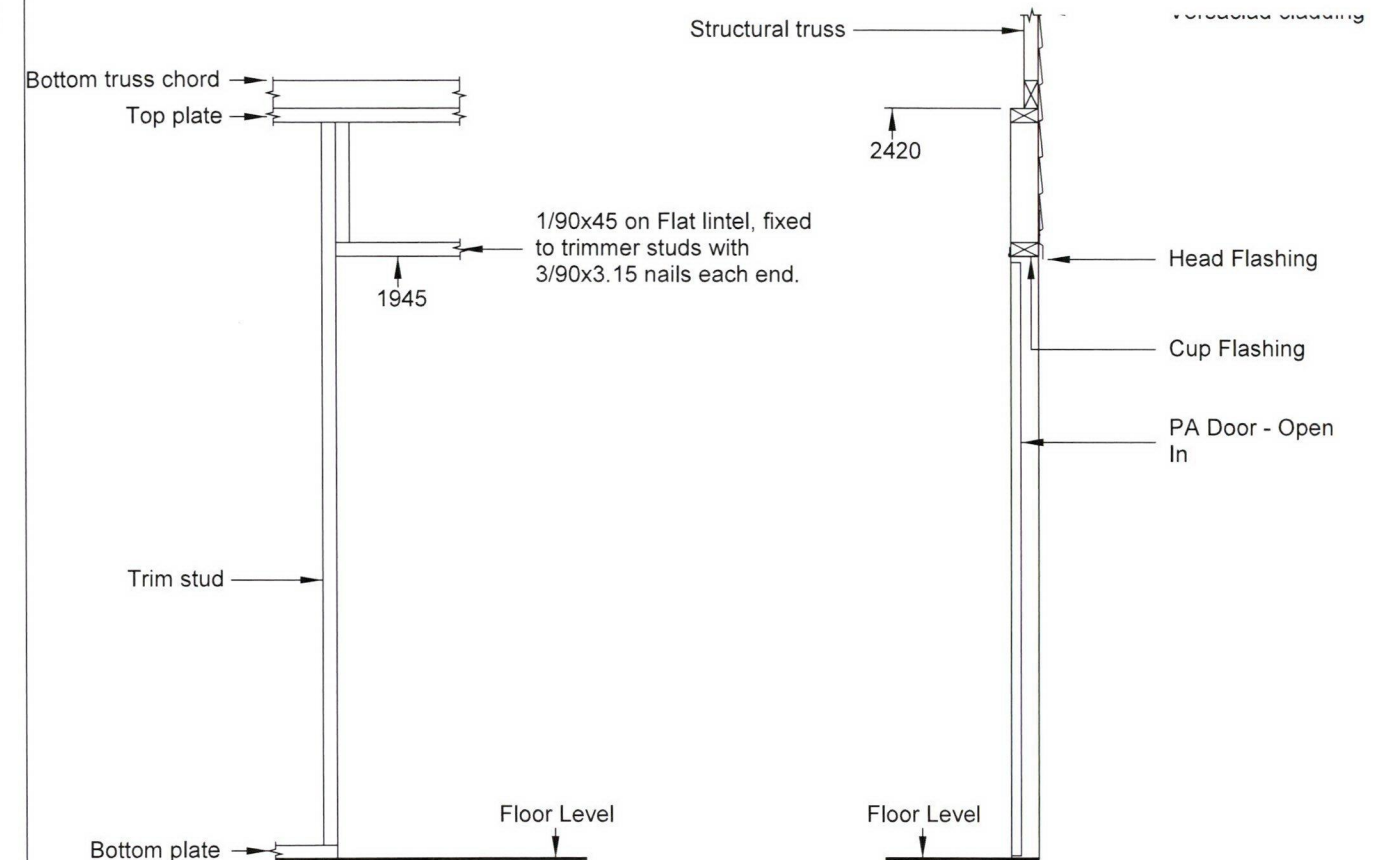
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SCALE A3-1:25

PA DOOR

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24/8/17



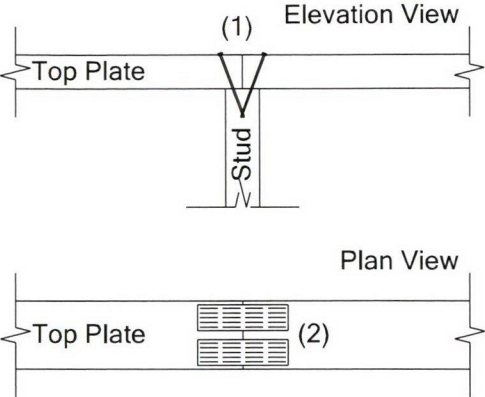
SCALE A3-1:25

TOP PLATE AND ROOF FRAMING

TOP PLATE DETAILS

All top plates to be 90x45 SG8 H1.2.

Load Bearing Walls - Butt Joint Fixing Details

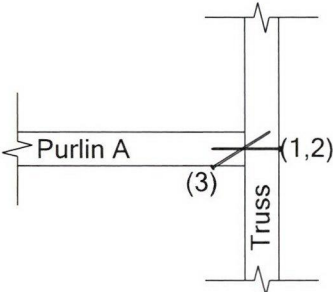


1. Skew nail top plates to stud with 4/90x3.15mm nails
2. Fix 2/4T5 Tylok plates over the joint.

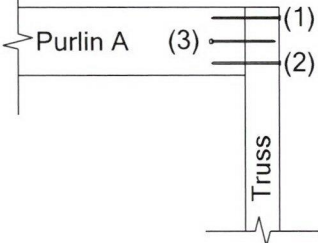
PURLIN DETAILS

All purlins 90x45 (on edge) SG8 H1.2 at 1000mm centres max fixed between trusses.

Plan View

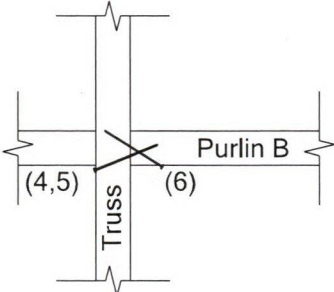


Elevation View

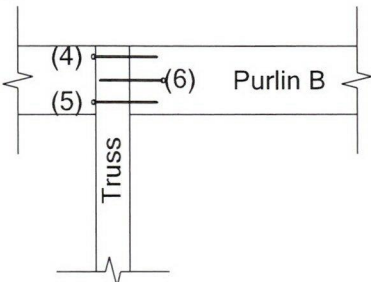


1. Nail 2/90x3.15mm nails (1,2) through the truss chord into the end of purlin A.
2. Skew nail 1/90x3.15mm nail (3) from purlin A into the truss chord.

Plan View



Elevation View

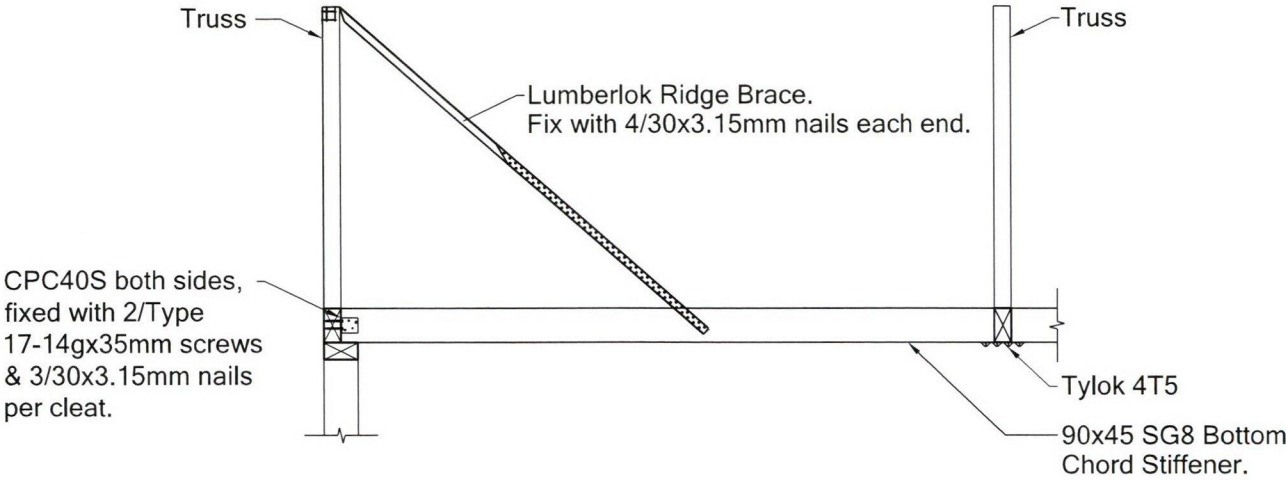


1. Skew nail 2/90x3.15mm nails (4,5) through the truss chord into the end of purlin B.
2. Skew nail 1/90x3.15mm nail (6) from purlin B into the truss chord.

SCALE: A3-1:10

STANDARD TRUSS STIFFENER

All truss stiffeners 90x45 SG8 H1.2. Refer to Truss Design (sheet 13 of 23) for centres



Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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24/8/17

TRUSS DESIGN

DESIGN LOADS

Dead Loads for Light Roof:

Truss Top Chord= 0.15kPa (includes weight of trusses, purlins, associated framing and zincalume roof).

Truss Bottom Chord=0.20kPa for trusses @ 1200crs with ceiling.

Live Loads:

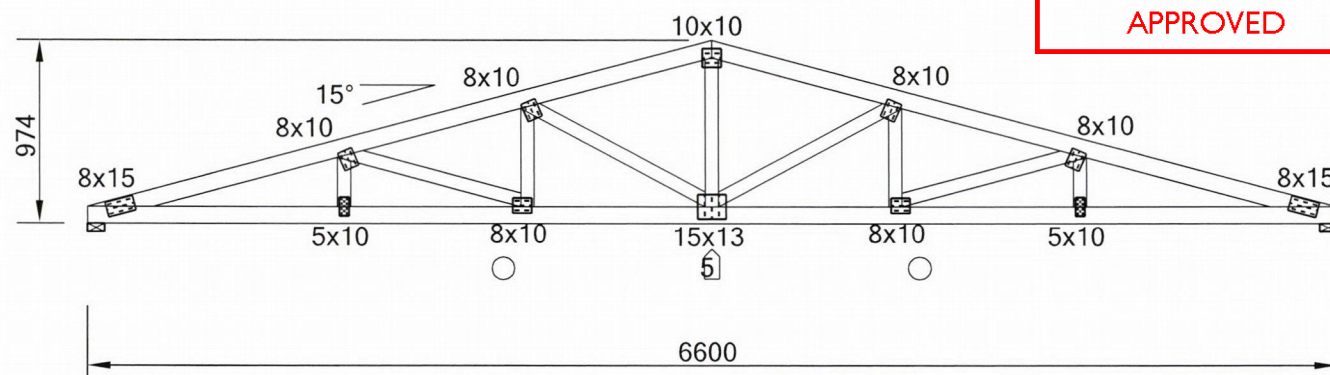
Truss Top Chord= 1.1kN concentrated load, 0.25kPa uniform load.

Truss Bottom Chord=0.9kN concentrated load below 1200mm head height and
1.4kN concentrated load above 1200mm head height.

Wind Loads:

Roof= Cfig = -1.1

TRUSS DESIGN



Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

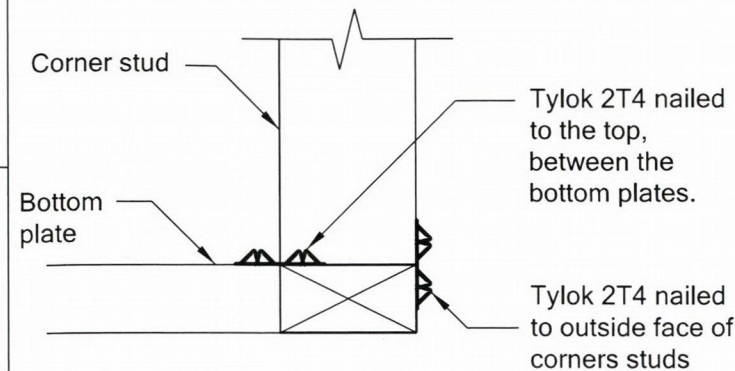
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Scale: A3-1:40

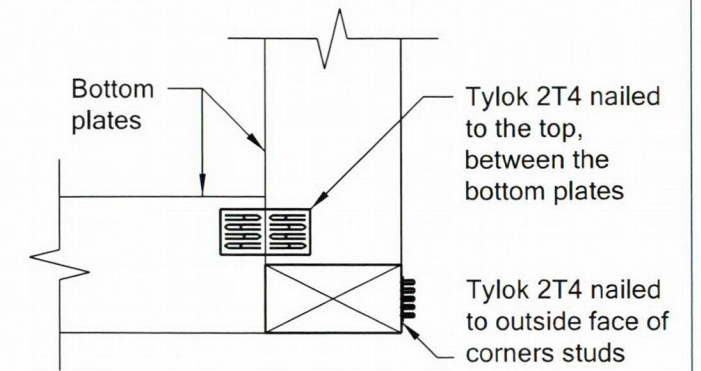
NOTE:

- Indicates location of Bottom chord brace (truss stiffener).
- △ Indicates the truss camber (typical).
- All truss plates are Gang-Nail GNQ type.
- Nail plates are to be fully pressed home on both sides of joints.
- The nail plate axis must be located in the specified or indicated direction.
- Top and Bottom chords to be 90x45 SG8 H1.2 Radiata pine.
- All webs to be 70x45 SG8 H1.2 Radiata pine.

GABLE TRUSS CORNER STUD / BOTTOM PLATE FIXING



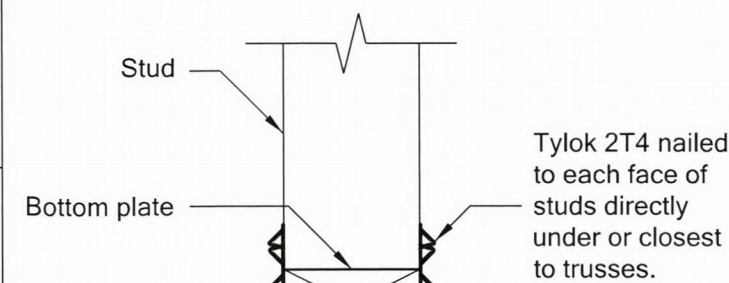
Corner Cross Section



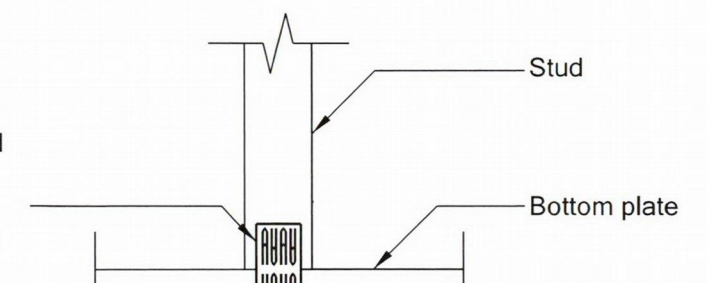
Corner Plan

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TRUSS STUD / BOTTOM PLATE FIXING



Cross Section

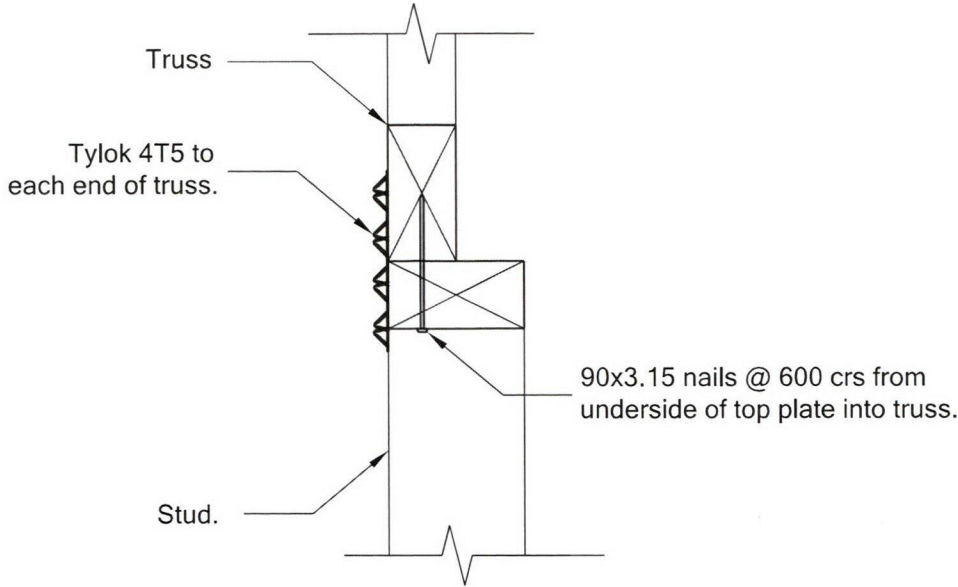


Stud Face

SCALE: A3-1:5

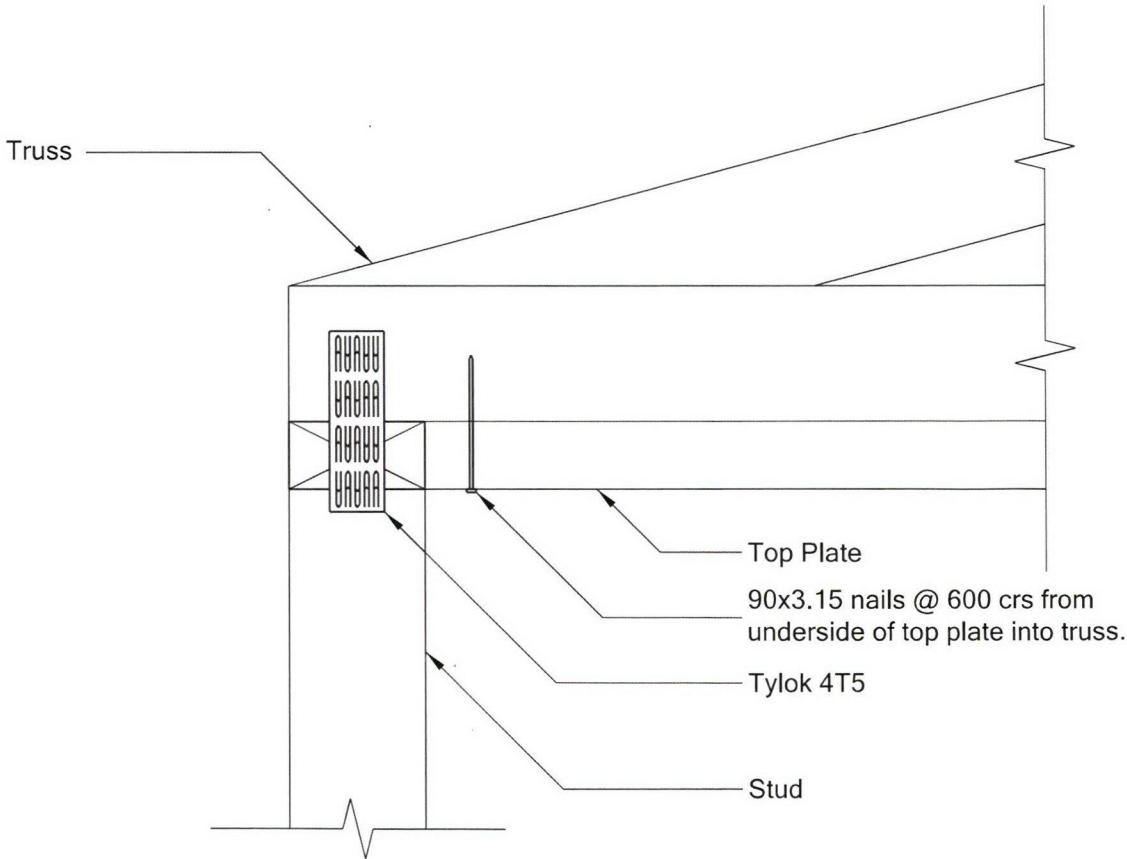
TRUSS FIXING DETAILS

GABLE TRUSS / CORNER STUD FIXING



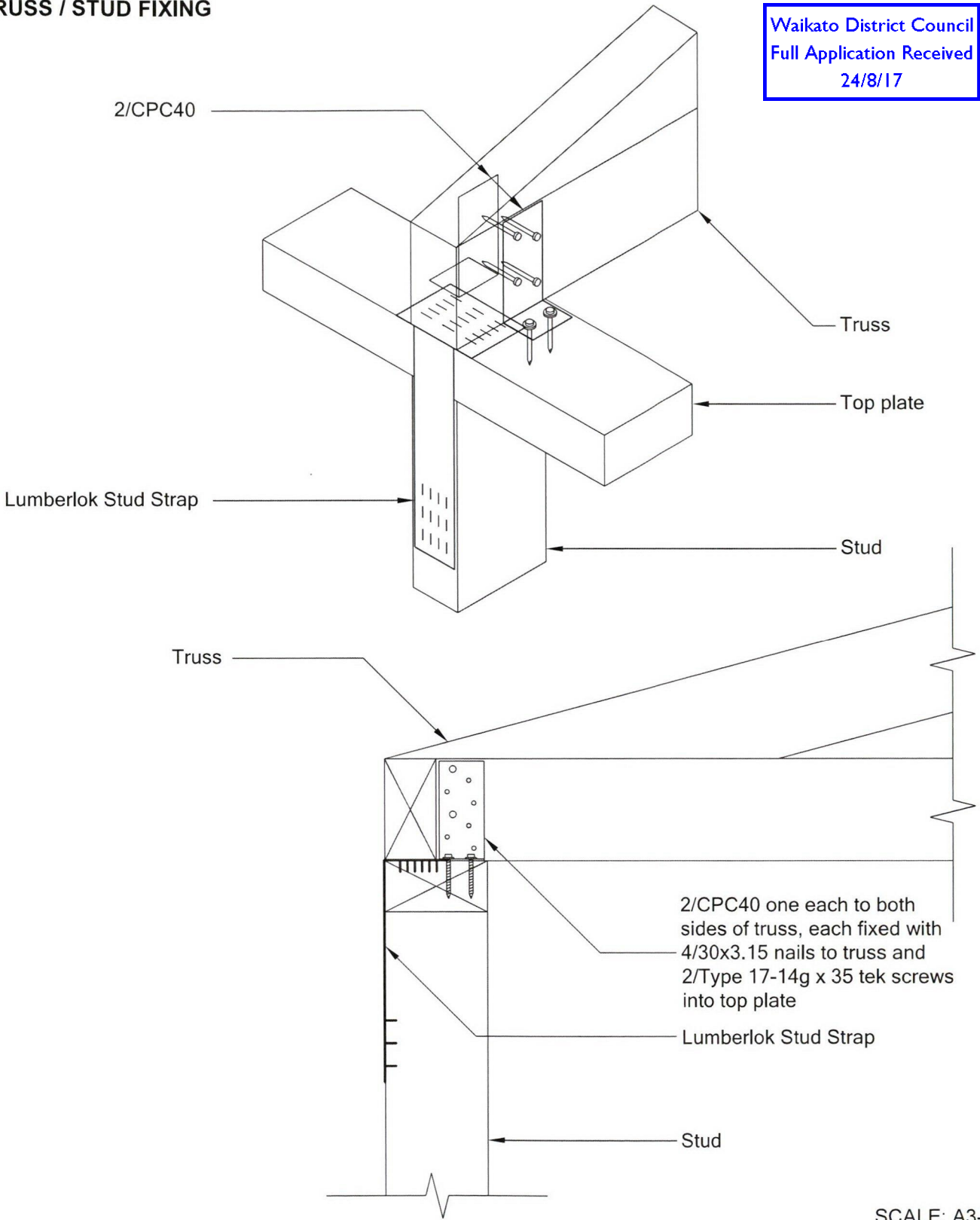
Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

APPROVED



SCALE: A3-1:5

TRUSS / STUD FIXING

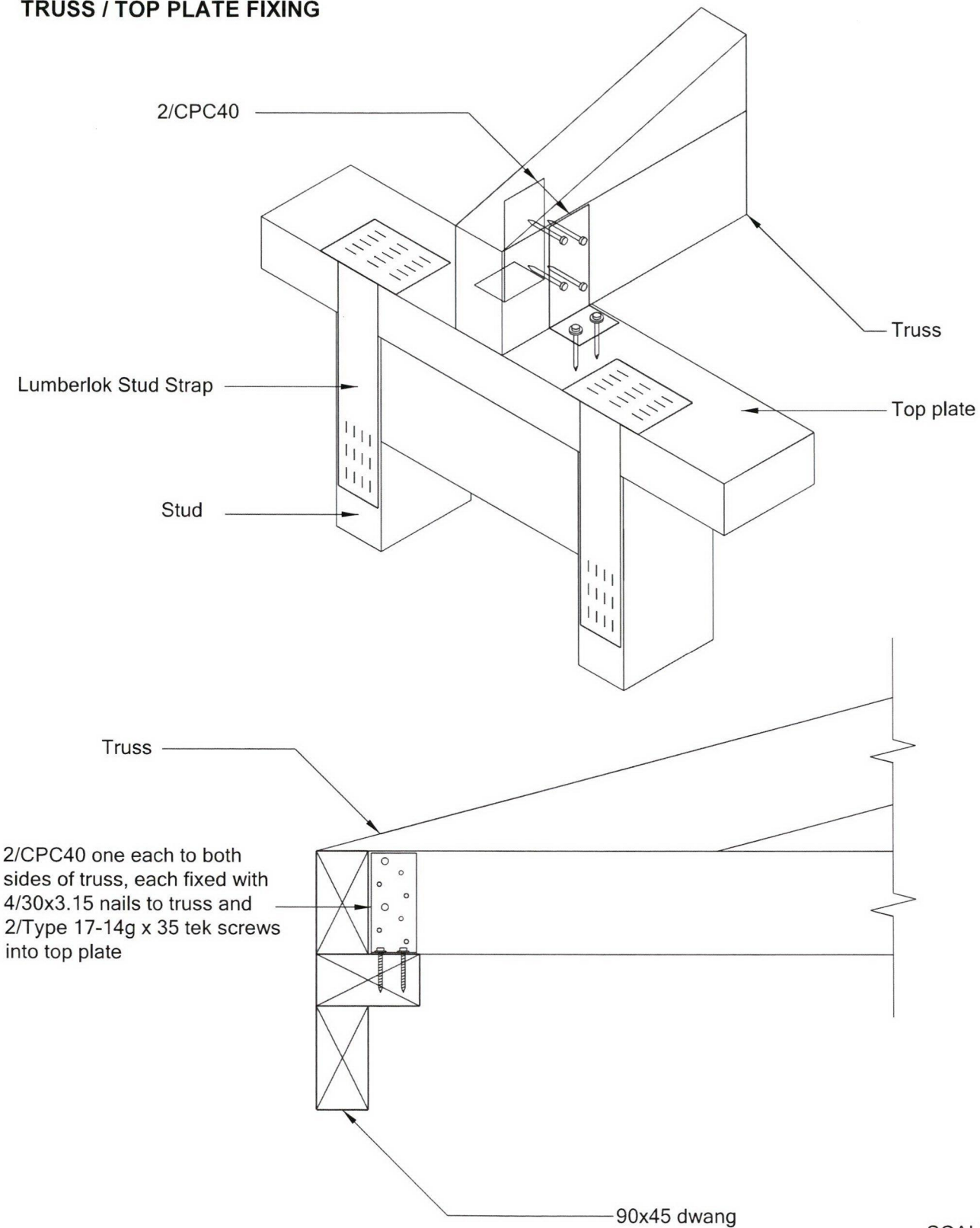


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SCALE: A3-1:5

TRUSS FIXING DETAILS

TRUSS / TOP PLATE FIXING



SCALE: A3-1:5

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Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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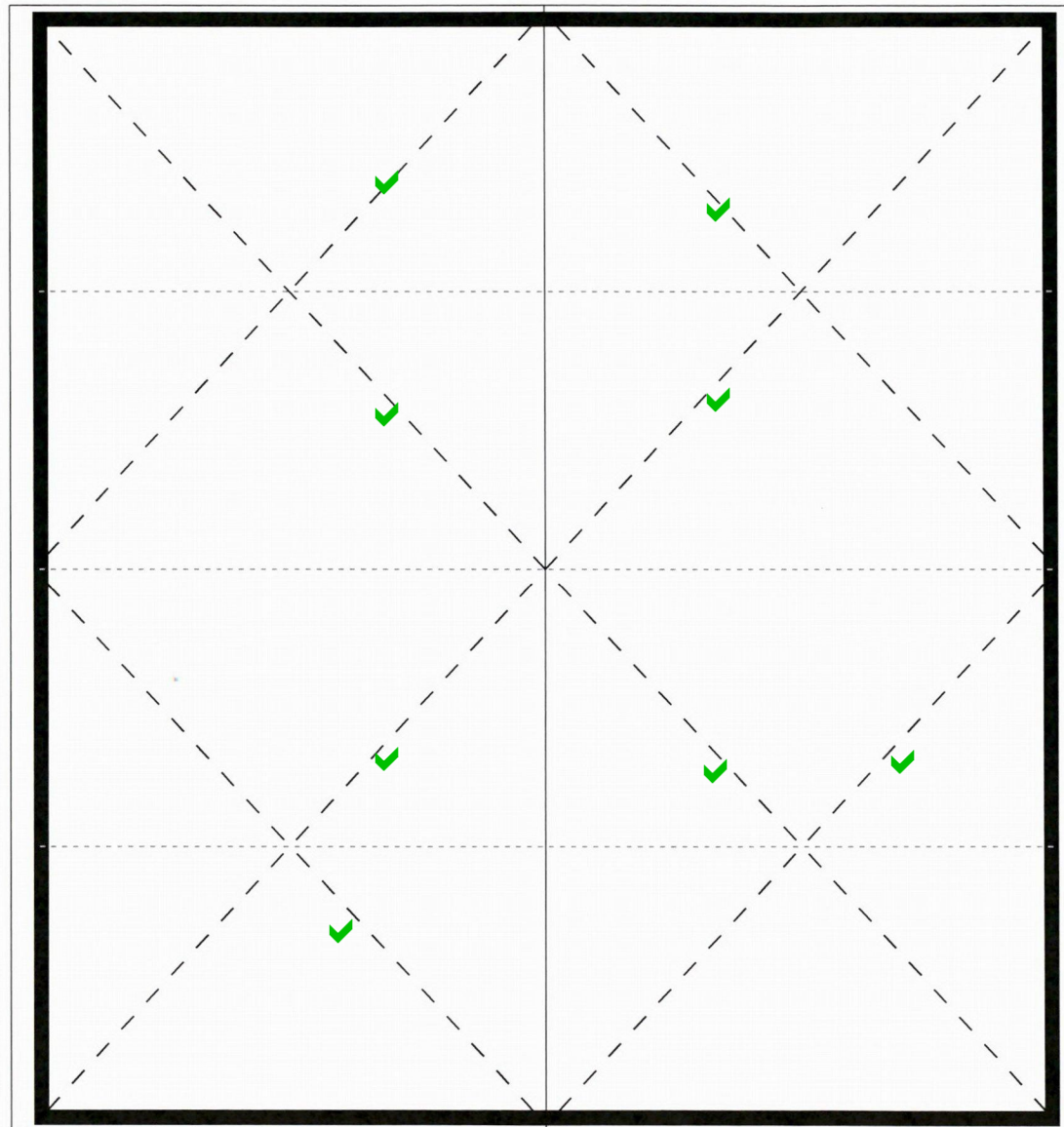
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ROOF BRACING

EXPLANATION

Using a diaphragm approach, the roof is braced using a series of Lumberlok Strip Brace patterns in the plane of the truss top chords to transfer the bracing demand to the top plates. The loads at the top plate level are then transferred to the foundation through the wall bracing system.

ROOF BRACING PATTERN LAYOUT



Scale: NTS

FIXINGS

Each single row of Lumberlok Strip Brace to be tensioned up and laid over the top of the purlins. Fix each end with 5/30x3.15 nails and fix crossings with 2/30x3.15 nails.

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24/8/17

Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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WALL BRACING DEMAND

EARTHQUAKE BRACING DEMAND

Using NZS 3604:2011, Section 5 Bracing Design, Table 5.10 - Bracing demand for various combinations of cladding for single and two-storey buildings on concrete slab-on-ground (2 kPa floor load, soil type D/E, earthquake zone 3)

Roof cladding	Single storey cladding	Roof pitch degrees	Single storey walls
Light roof	Light	15°	6 BU/m ²
Multiplication factors			EQ zone = 1 Soil class = D&E Deep to very soft
Earthquake demand			0.5
			3 BU/m ²

Using factors based on ratios in AS/NZS1170.0:2002, part 5 from BIL2 - 50 years working life to BIL1 - 50 years working life.

Building Importance Level 1 modification factor.	0.5
EARTHQUAKE DEMAND REQUIRED (Along and Across)	1.5 BU/m ²
BL 7.200m x BW 6.600m = 47.52m ²	47.52m ² x 1.5 BU/m ² 72 BU

WIND BRACING DEMAND

Using NZS 3604:2011, Section 5 Bracing Design, Table 5.6 - Wind bracing demand for single or upper storey wall (BU/m).

Single or Upper Floor level to apex (H)	Roof height above eaves (H)	High Wind Zone Across	High Wind Zone Along
4 m	2 m	40 BU/m	45 BU/m
In wind zones other than High, multiply the figure above by the appropriate factor given opposite.		High = 1	
Wind demand with wind zone factor applied.		Across 40 BU/m	Along 45 BU/m

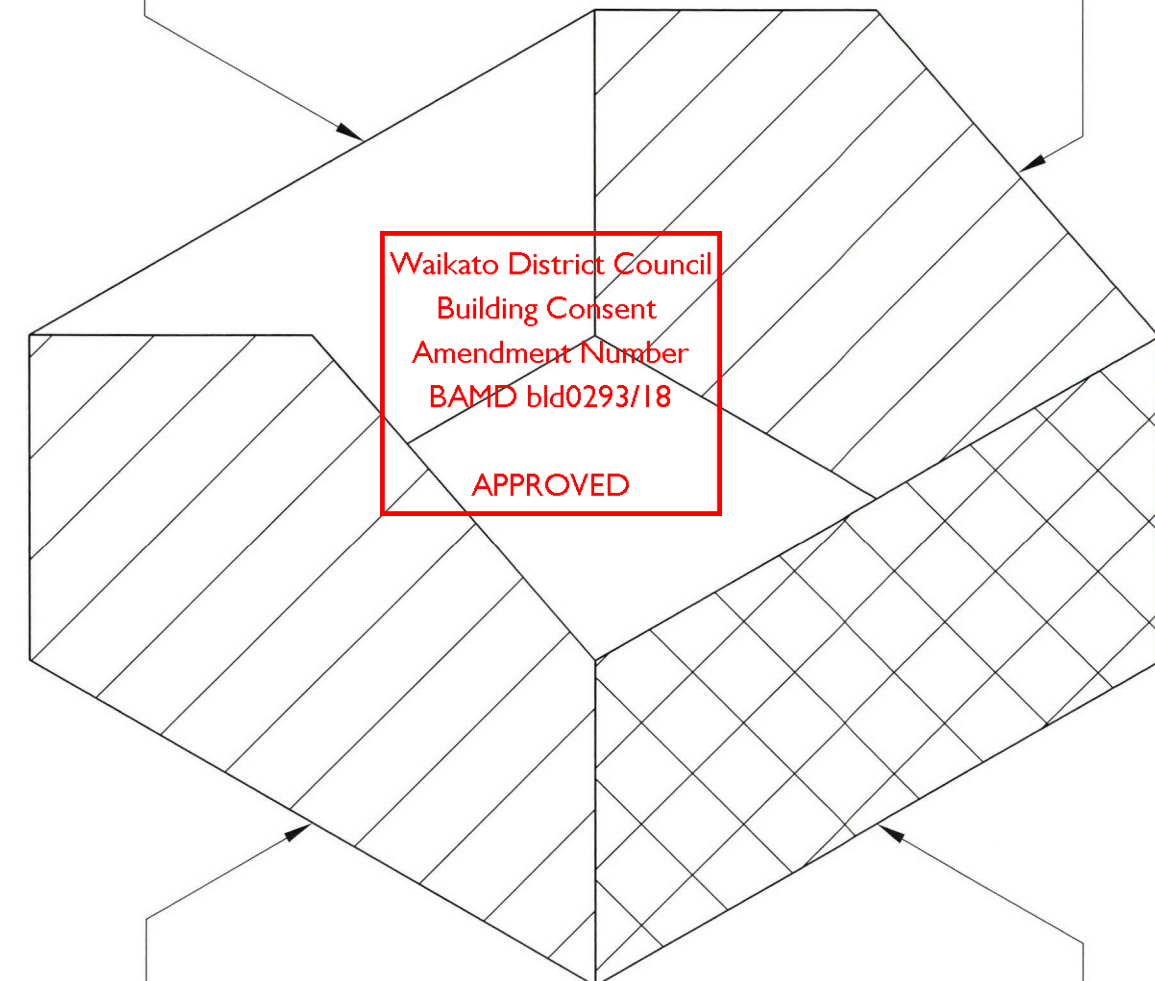
Using factors based on ratios in AS/NZS1170.0:2002, part 2 from BIL2 - 50 years working life to BIL1 - 50 years working life.

Building Importance Level 1 modification factor.	0.849	
WIND DEMAND REQUIRED	Across 34 BU/m	Along 38.2 BU/m
	BL 7.200m x 34 BU/m 245 BU	BW 6.600m x 38.2 BU/m 253 BU

BRACING UNITS DISTRIBUTION

VIEW	0% ALONG (BU)	
4	Wind	Earthquake
	0	0

VIEW	50% ACROSS (BU)	
3	Wind	Earthquake
	123	36



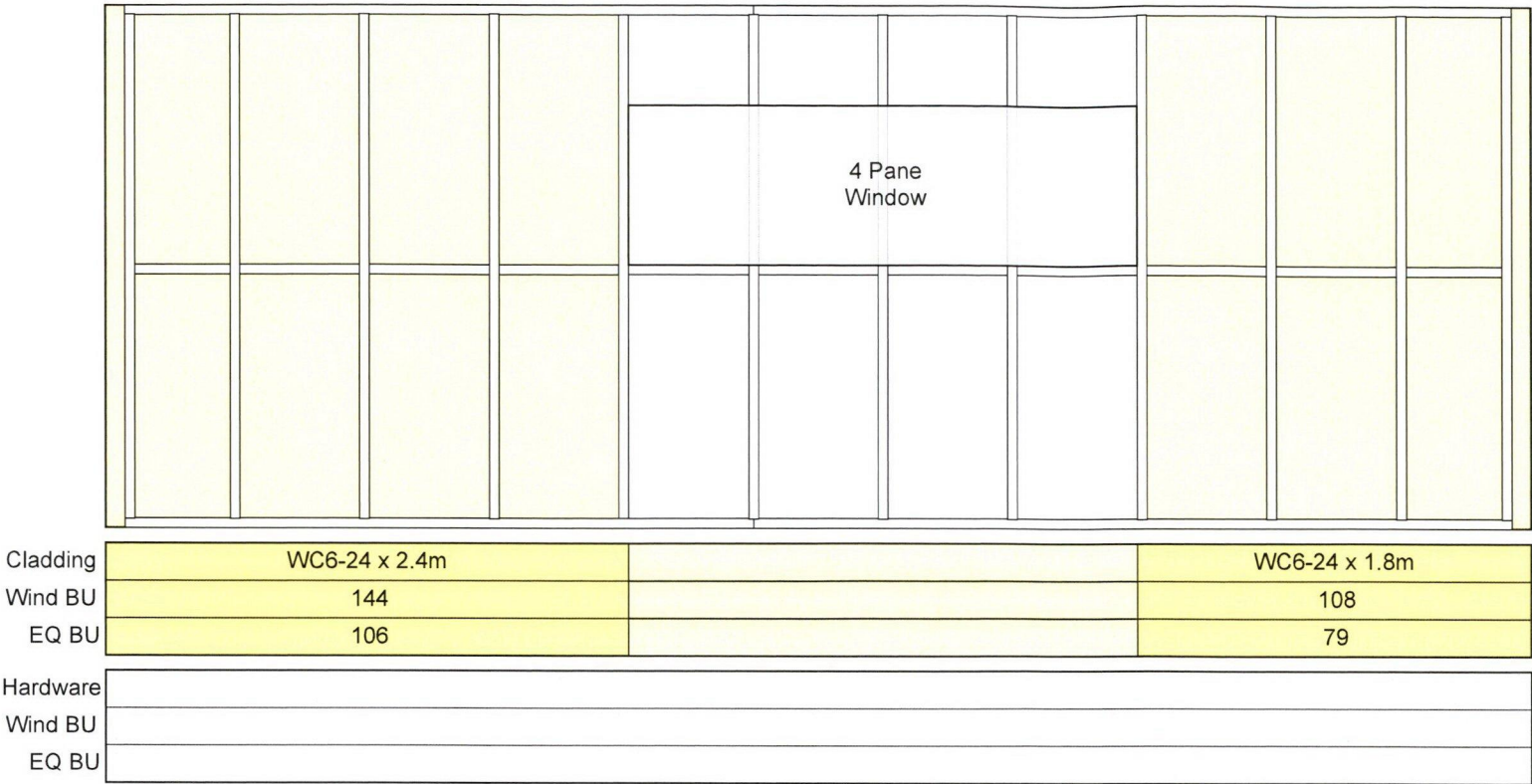
VIEW	50% ACROSS (BU)	
1	Wind	Earthquake
	123	36

VIEW	100% ALONG (BU)	
2	Wind	Earthquake
	253	72

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Full Application Received
24/8/17

Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18
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BU ACHIEVED - VIEW 1



SUMMARY - ACROSS (BU)		
	Wind	EQ
Required	123	36
Achieved	252	185

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Full Application Received
24/8/17

Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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Scale NTS

BU ACHIEVED - VIEW 2



SUMMARY - ALONG (BU)		
	Wind	EQ
Required	253	72
Achieved	290	183

Scale NTS

BU ACHIEVED - VIEW 3



SUMMARY - ACROSS (BU)		
	Wind	EQ
Required	123	36
Achieved	144	106

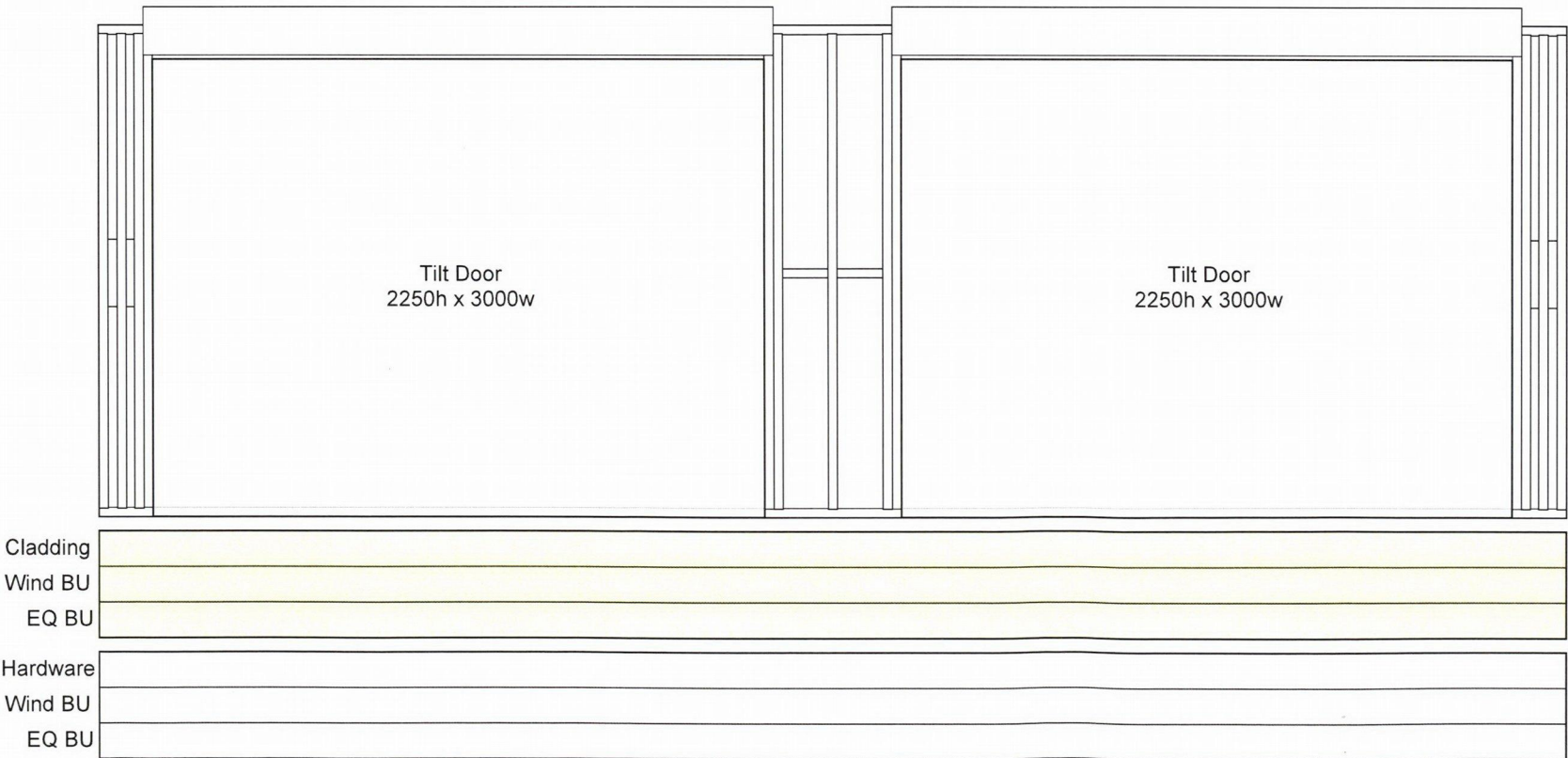
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24/8/17

Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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Scale NTS

BU ACHIEVED - VIEW 4



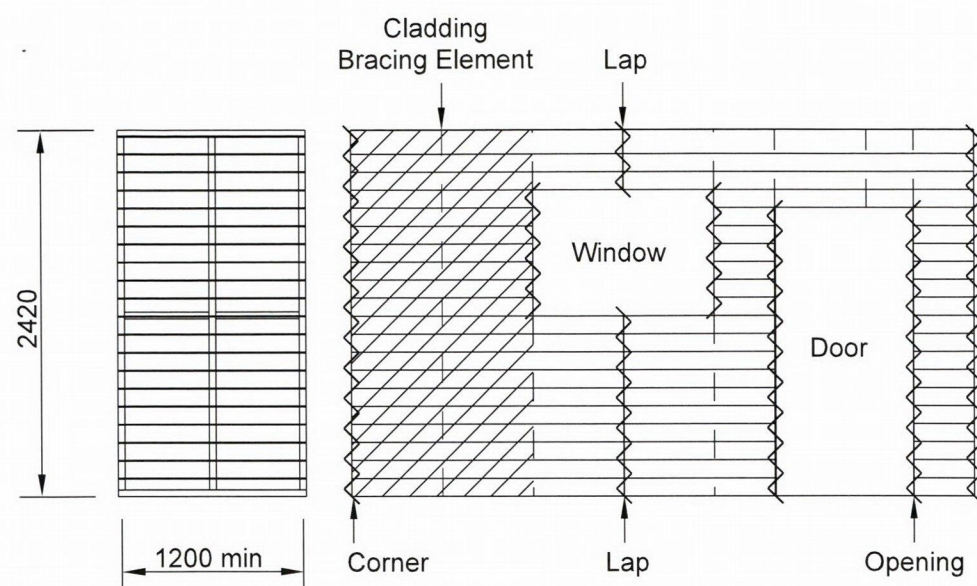
SUMMARY - ALONG (BU)		
	Wind	EQ
Required	0	0
Achieved	0	0

Scale NTS

BRACING ELEMENT: WC6-24

Weather Board Cladding

Total BU/m	Wind	60
	Earthquake	44



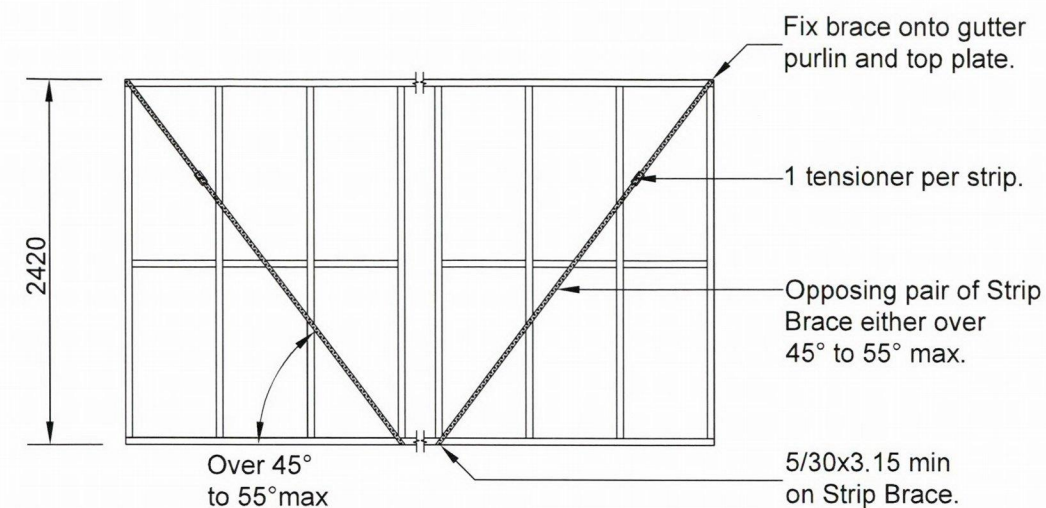
Corners, openings and laps must be nailed with 32x2.8 flat head twist shank galv nails at 117mm crs.

All other internal studs to be nailed at 234mm crs.

NTS

BRACING ELEMENT: SBA6-55-24

Total BU/m per Pair	Wind	74
	Earthquake	24



Fix brace onto gutter purlin and top plate.

1 tensioner per strip.

Opposing pair of Strip Brace either over 45° to 55° max.

5/30x3.15 min on Strip Brace.

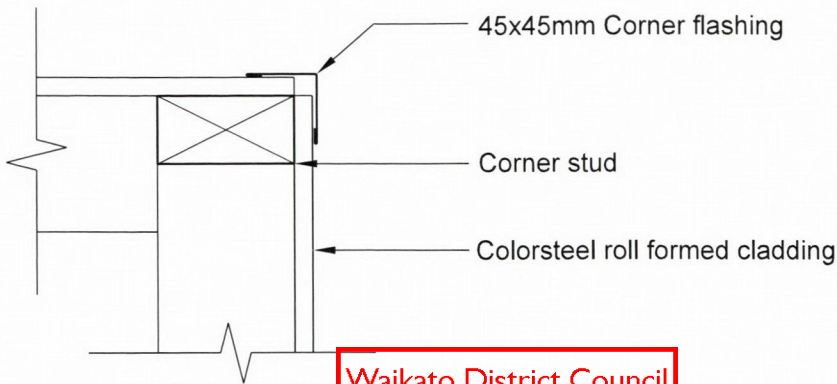
Scale A3-1:50

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Building Consent
Amendment Number
BAMD bld0293/18

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CORNER FLASHING DETAIL (NON HABITABLE)

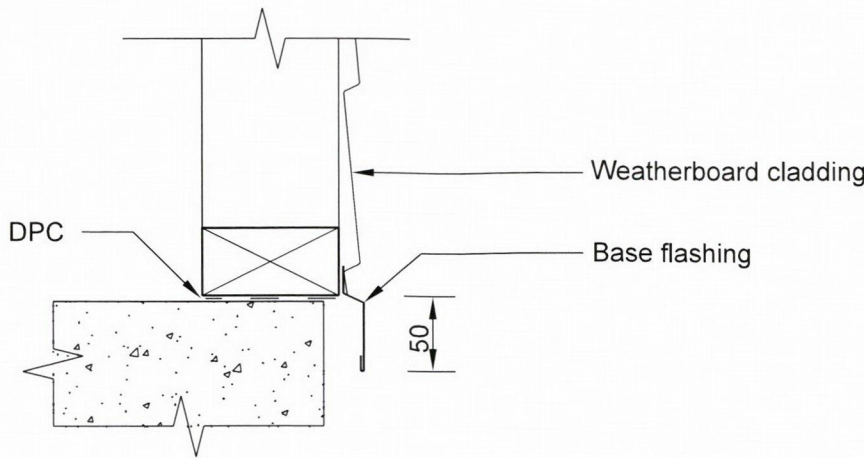


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Building Consent
Amendment Number
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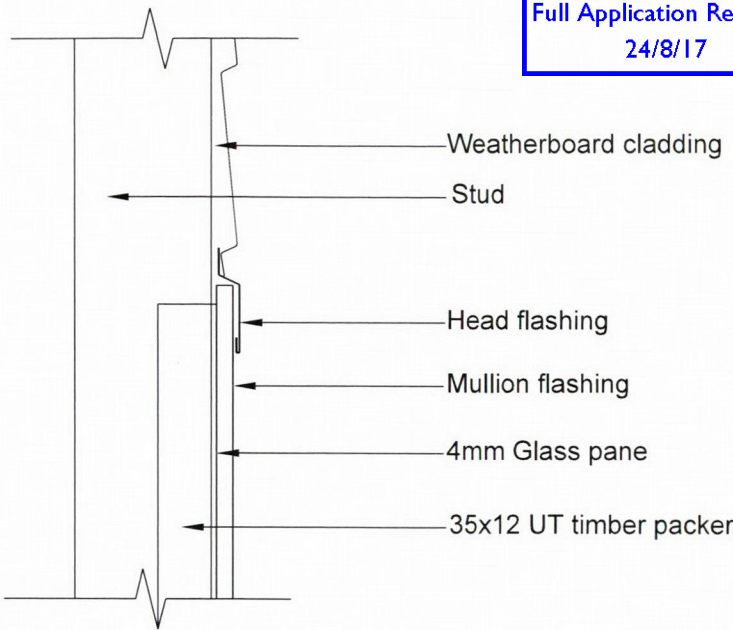
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BASE FLASHING DETAIL



Scale A3-1:5

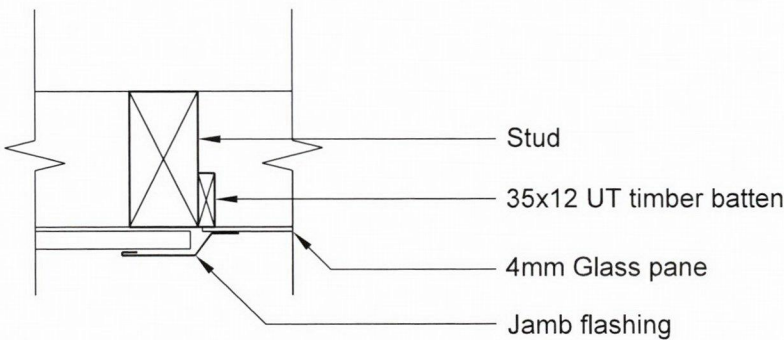
STANDARD WINDOW HEAD DETAIL



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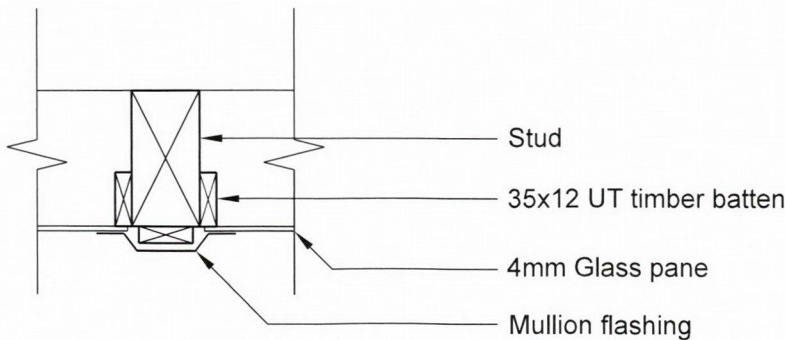
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STANDARD WINDOW JAMB DETAIL



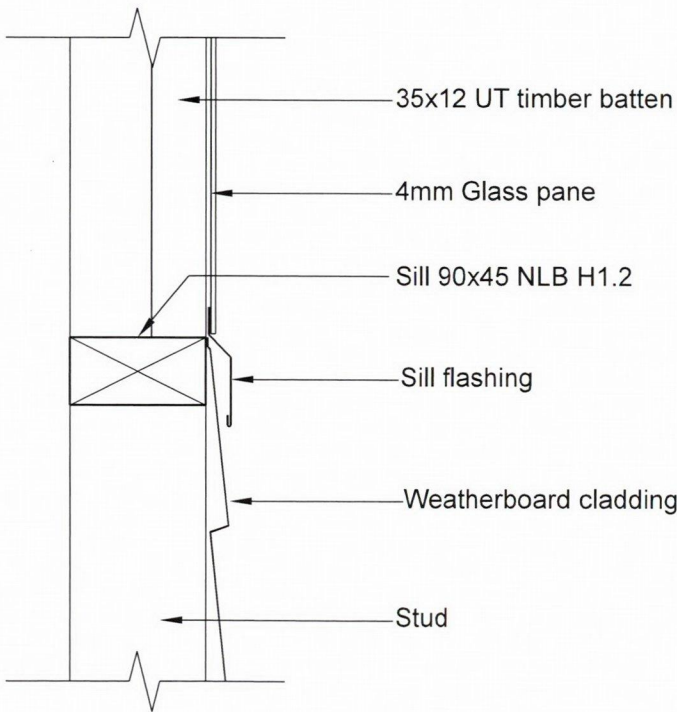
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STANDARD WINDOW MULLION DETAIL



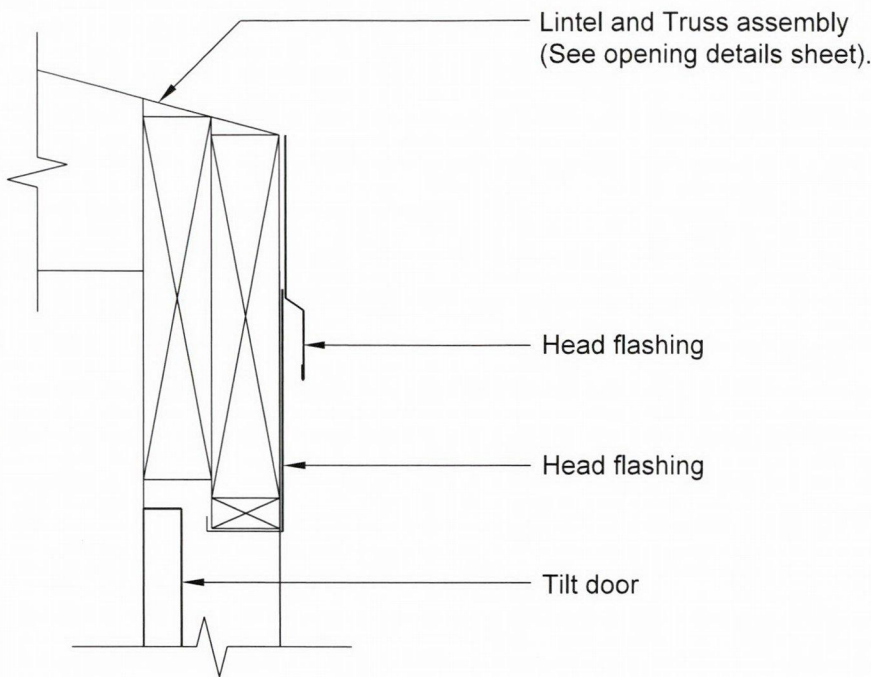
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STANDARD WINDOW SILL DETAIL



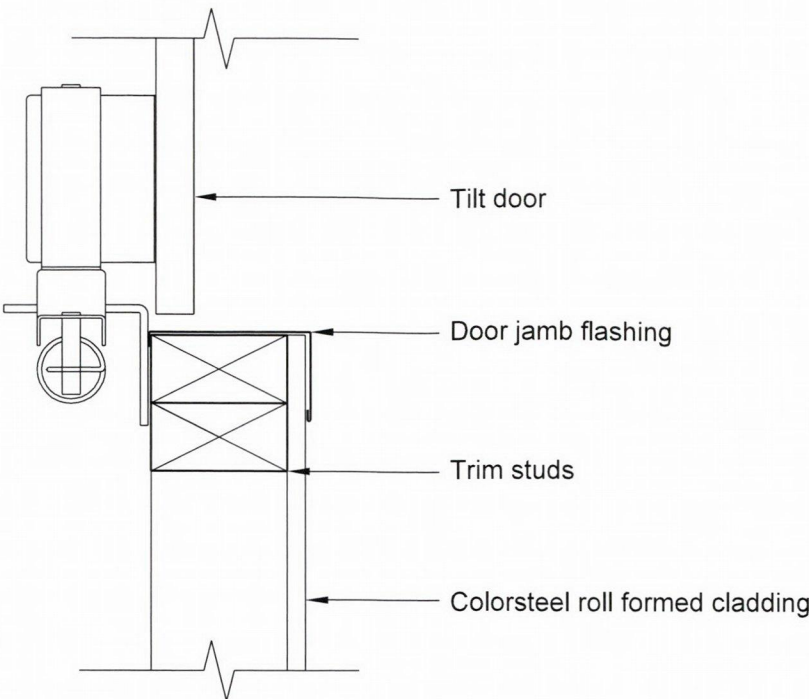
Scale A3-1:5

TILT DOOR HEAD DETAIL



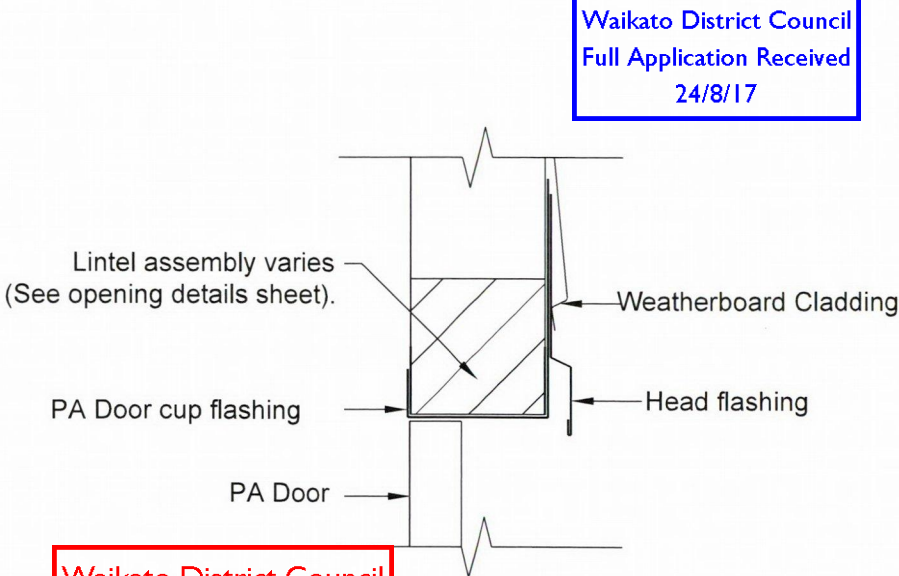
Scale A3-1:5

TILT DOOR JAMB DETAIL



Scale A3-1:5

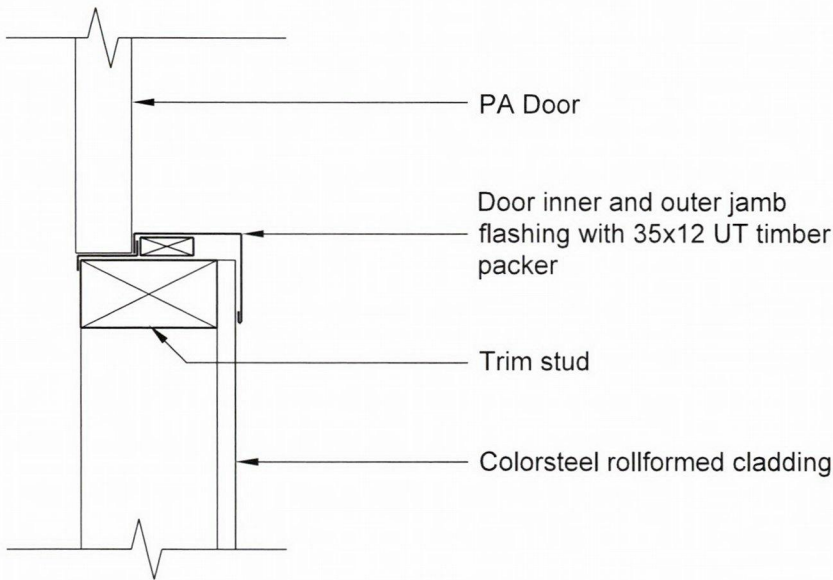
PA DOOR HEAD DETAIL



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Building Consent
Amendment Number
BAMD bld0293/18
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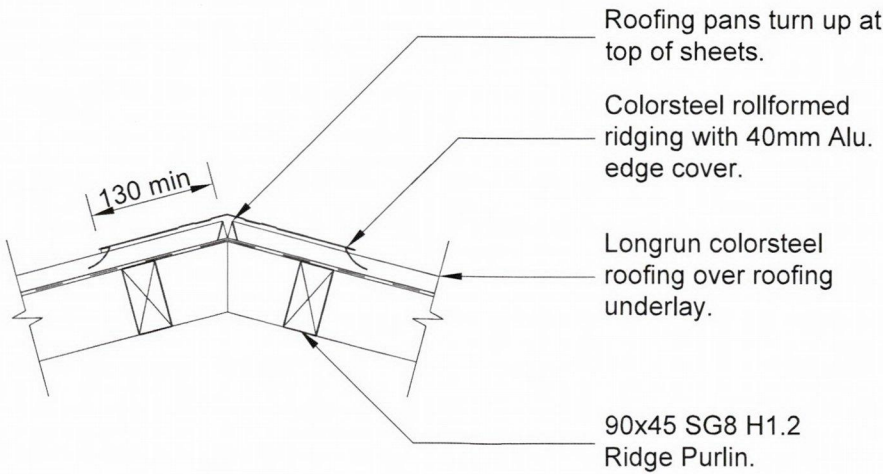
Scale A3-1:5

PA DOOR JAMB DETAIL (OPEN IN)



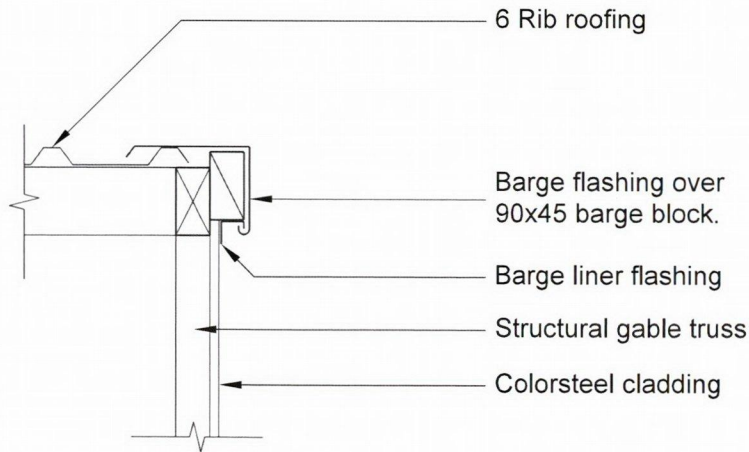
Scale A3-1:5

RIDGING DETAIL



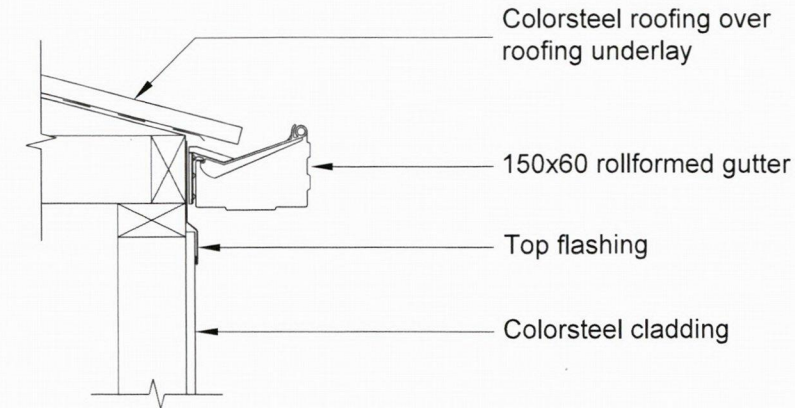
Scale A3-1:10

STANDARD BARGE DETAIL



Scale A3-1:10

GUTTER DETAIL



Scale A3-1:10

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24/8/17

Waikato District Council
Building Consent
Amendment Number
BAMD bld0293/18

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Form 7
CODE COMPLIANCE CERTIFICATE
Section 95 Building Act 2004

The Building

Street address of building:	65 Catley Road ORINI
Legal description of land where building is located:	LOT 2 DPS 77565
Valuation number:	04414/067.01
Property number:	2002943
Building name:	n/a
Location of building within site/block number:	n/a
Level/unit number:	n/a
Current, lawfully established, use:	Outbuildings
Number of occupants per level and per use if more than 1:	n/a
Year first constructed:	2017

The Owner

Name of owner: D M Vickers, C J Moore
Mailing address: 65 Catley Road, RD 2, Taupiri 3792

Street address/registered office: 65 Catley Road, Taupiri

Phone numbers:

Landline:	n/a	Mobile:	0210-2655880
Daytime:	n/a	After hours:	n/a
Facsimile number:	n/a	Email address:	littledevildebbie@gmail.com
Website:	n/a		

First point of contact for communications with the building consent authority

Name: Archgola Waikato
Mailing address: PO Box 887, Cambridge 3450

Phone numbers:

Landline:	0508-272446	Mobile:	021-654112
Facsimile number:	n/a	Email address:	paularchgola@me.com

Building Work:

Project: **Archgola**
Building consent number: **BLD0593/18**
Issued by: **Waikato District Council**

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent



Signature:

Name: Rob Koppers
Position: Building Inspector
On behalf of: Waikato District Council

Date: 07 November 2018

Form 5
BUILDING CONSENT NO: BLD0593/18
Section 51, Building Act 2004
ISSUED BY: WAIKATO DISTRICT COUNCIL

The Building

Street address of building: 65 Catley Road ORINI
Legal description of land where building is located: LOT 2 DPS 77565
Valuation Number: 04414/067.01 Property Number: 2002943
Building name: N/A
Location of building within site/block number: N/A
Level/unit number: N/A

The Owner

Name of owner: D M Vickers, C J Moore
Mailing Address: 65 Catley Road, RD 2, Taupiri 3792

Street address/registered office: 65 Catley Road, RD 2, Taupiri 3792

Phone numbers:

Landline: N/A Mobile: 021-787784
Daytime: 021 02655880 After hours: N/A
Facsimile number: N/A Email address: littledevildebbie@gmail.com
Website: N/A

First point of contact for communications with the Building Consent Authority

Name: Archgola Waikato
Mailing Address: PO Box 887, Cambridge 3450

Phone numbers:

Landline: N/A Mobile: 021-654112
Daytime: N/A Fax number: N/A
Email address: paularchgola@me.com

Building Work

The following building work is authorised by this building consent:

Archgola

Project type: Pergola \$14,500

Total Value of work: \$14,500

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Waikato District Council
Building Consent No: BLD0593/18

This Building Consent is subject to the following conditions:

1. Inspections:

When booking your inspections please phone (07) 824 8633 or (0800) 492 452 and quote your building consent number. Whilst we will endeavour to provide inspections in a timely manner, please provide **at least 48 hours notice** prior to any of the following mandatory inspections. (Click [here](#) for more information on Inspections & Certification)

- Siting and Foundation - *Owner/builder to locate boundary pegs prior to council carrying out a foundation/siting inspection.*
- Final Building (Code Compliance Certificate) to be called for - *Some final inspections require Council to have access into the building. If no-one is onsite to allow access to the interior of the building it is likely the inspection will fail.*

2. The following documents from third parties need to be provided to the BCA to certify that the building work complies with the plans and specifications and in order for Council to issue a CCC: (Click [here](#) for more information on Producer Statements & Memoranda)

Certificates / Memorandums / Statements / Letters:

- Code Compliance Certificate application(if applicable)

Compliance Schedule:

- A compliance schedule is not required for the building.

Lapsing of a building consent:

A building consent lapses and is of no effect if the building work to which it relates does not commence within:

- a) 12 months after the date of issue of the building consent or
- b) Any further period that the building consent authority may allow.

The granting of this building consent, with or without a certificate under section 37 of the Building Act 2004, does not remove the need to obtain a resource consent if one is required under the Waikato District Plan.

The granting of this building does not authorise interference with any easement/s. Any encroachment upon or into an easement will require the consent of the grantee(s), and is a private matter between the grantee(s) and grantor(s).

Code Compliance Certificate will be issued after your final inspection has been carried out and passed, you have applied for your Code Compliance Certificate and all documentation has been received and approved. (Click [here](#) for your CCC application form).

Signature:

A handwritten signature in blue ink, appearing to read 'Anne Saunders', with a large, stylized loop at the end.

Name: Anne Saunders
Position: Building Administrator

On Behalf of: Waikato District Council

Date: 07 December 2017



65 Catley Road ORINI

Waikato District Council does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that WDC shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information



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Introduction to the PLANNING MAPS

These planning maps are part of the Waikato District Plan. The maps are referred to in the text volumes.

Map layout

The maps are arranged to show zones and policy or other special controls. Important to note is the delineation between the Waikato Section and the Franklin Section as shown on Map i and Map ii. This delineation is necessary due to the different zones between the two sections and development controls such as policy and overlay areas. Various colours, shadings and lines on the maps represent these zones, policy areas and special controls. The maps also include information such as the alignment of the major electricity and gas transmission corridors and designations. See the map legend for details.

Zones

Except for roads in the Franklin Section all land in the Waikato District is in a zone. Land uses within each zone are expected to generate a compatible range of effects and provide a similar level of amenity.

Roads in the Waikato Section appear white in the maps, as the zone shading has been left off to assist map users with orientation. Although the roads are not shaded, they are in a zone, which is the zone of the land nearest to each point of the road. Where the zone is different on each side of the road, the boundary between the zones is the centre line of the road. Unformed roads are shown with zone shading.

Roads in the Franklin Section are not in a zone and appear white in the maps. This applies to both formed and unformed roads. For activities affecting roads in the Franklin Section refer to Part 15 or seek advice from the appropriate department within Council.

With the exception of the Waikato River and some of its tributaries within the Franklin Section, lakes and rivers appear with blue shading to assist map users with orientation. Although these rivers and lakes are not given any zone shading, they are in a zone, which is the zone of the land nearest to each point of the river or lake. Where the zone is different on each side of the river or lake, the boundary between the zones is the centre of the river or lake.

Activities on the surface of rivers, lakes and other water bodies are subject to the ordinary zone rules, for example the noise rules. A person wanting to build a structure in the water, such as jetty, would also have to observe the zone building standards (regional council consents may also be required).

Policy and Special Control Areas

These areas are mapped areas of the district where certain resource management issues are addressed in the plan, such as heritage, conservation areas, landscapes and ecological features. Some land in the district is not in any of these areas, while others may be affected by a number of these controls. If a site is in any of these areas various rules will apply to that particular activity. For example, the earthworks standards are stricter in a Landscape Policy Area.

Information items

Some of the notations on the maps are included for information and to assist orientation of map users, and may not be referred to in the text of the plan. These items include the Te Araroa National Walkway, the landfill site and the motorsport park at Hampton Downs, marae, urupa and various retirement homes. Identification of these sites on the planning maps does not change the legal or planning status of activities on the land.

Numbered sites

Some sites are shown on the maps with a number and symbol. These sites contain a Heritage Item, Maaori Site of Significance, Notable Tree, Outstanding Natural Feature or Designation. The rules that refer to these items are included in the rules for the zone that the site is in or the relevant chapter.

The numbers refer to the text in the plan: Appendices C and F and Chapter 30 of the Waikato Section, and Part 5, Part 8, Appendix Two and the Schedule of Designations of the Franklin Section. Refer to these sections to confirm the identity of the site and to find further information.

For designations in the Waikato Section, the letter before the number identifies the requiring authority that is responsible for the designation. For example, the letter J identifies all designations of New Zealand Transport Agency. See chapter 30 for more details.

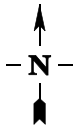
For designations in the Franklin Section, numbers run in numerical order and do not identify the requiring authority that is responsible for the designation. See Schedule of Designations for more details.

Where land is designated, the legal rights and responsibilities of the requiring authority (e.g. New Zealand Transport Agency) and the landowner are set out in the Resource Management Act.

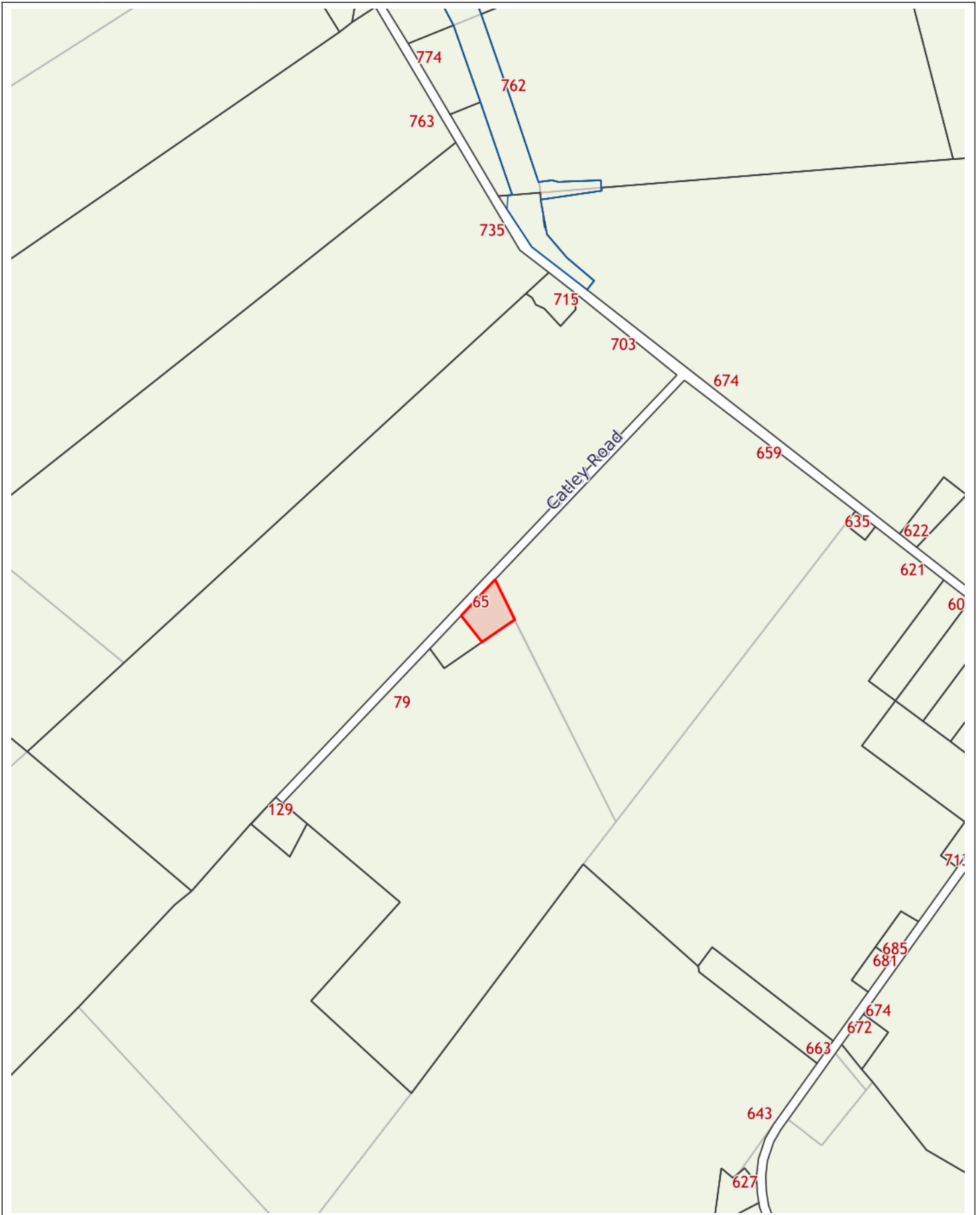
Hazards

Hazard areas shown on the planning maps are not exhaustive. Extensive areas of the district are subject to some flood, erosion, contaminated land or subsidence hazards, but not all these areas are shown on the planning maps. The Council does not have specific knowledge of all sites within the district. Applicants for resource consent will be required to identify relevant hazards in their locality.

Selected areas in the Living Zone of Huntly have been mapped as flood risk areas because of the particular risks in those areas and the availability of a Regional Council flood management plan. Note that the maps are at a scale of either 1:5,000 or 1:10,000: this means that precise detail for each property cannot be inferred from the maps. The maps are intended only to indicate general areas within which special enquiry about flood risks needs to be made. Within the mapped flood risk areas, there will be land that is not affected by the hazard. These areas can only be identified by a site-specific survey.



Waikato District Plan



Waikato
DISTRICT COUNCIL
Te Kaitiaki o Te Ika a Māui o Waikato

Context

- Plan Section Divide
- State Highway
- Rail
- Land Parcel
- Water Body
- Reserve

Building/Construction

- Airport Inner Noise Control Boundary
- Airport Outer Noise Control Boundary
- Airport SEL 95 Noise Control Boundary
- Background Noise Area
- High Background Noise Area
- Noise Control Boundary
- Noise Boundary Distance (m)

Commercial

- Airport Obstacle Limitation Surface
- Area A and B (Pokeno)
- Area of Interest / Scheduled Area
- Business Centre Classification
- Housing Restriction Area
- Front Yard Control Line
- Main Frontage Control Line
- Mixed Use Policy Area
- Tamahere Commercial Area
- Town Centre
- Town Centre Overlay Area
- Verandah

Hazard Policies

- Catchment Management Plan Area
- 1% Design Flood Level
- Flood Limit
- Flood Risk
- Huntly East Mine Subsidence
- Huntly South Assessment 1
- Land Stability Policy Area
- Remediation Policy Area
- River Stability Policy Area

Culture & Heritage

- Battlefield View Shaft
- Heritage Area
- Heritage Item
- Notable Tree
- Schedule 8A
- Site of Significance
- Urupa
- Waikato River Catchment

Infrastructure

- Designation
- Gas Line
- Transmission Line
- Indicative Road Intent Important
- Indicative Road Intent Important Local A
- Indicative Road Intent Important Local B
- Indicative Road Location Important
- Indicative Road Location Important Collector
- Indicative Road Location Important Service Lane
- National Walkway
- Raglan Navigation Beacon
- Segregation Strip
- Walkway Cycleway Bridleway

Natural Environment

- Coastal Marine Area
- Conservation Policy Area
- Ecological Corridor
- Environmental Enhancement Overlay Area
- Environmental Protection Policy Area
- Gully Area
- Hauraki Gulf Catchment Area
- Identified Significant Natural Feature
- Landscape Policy Area
- Management Area
- Proposed Esplanade Reserve
- Ridgeline Policy Area
- Schedule 5A Site of Special Wildlife Interest
- Threatened Species Serious Decline
- Threatened Species Gradual Decline
- Whaanga Coast Policy Area

Urban Environment

- Amenity Planting Requirement
- Anticipated Dwelling Number
- Concept Plan
- Papakainga Policy Area
- Residential Large Lot Overlay Area
- Residential Medium Lot Overlay Area
- Structure Plan Boundary
- Urban Expansion Policy Area
- Village Growth Area

Minerals/Mining

- Aggregate Extraction Policy Area
- Aggregate Resource Policy Area
- Coal Mine Policy Area

Zones

Commercial

- Village Business (Franklin)
- Business (Waikato)
- Business (Franklin)

Open Space

- Forest Conservation (Franklin)
- Queen's Redoubt Heritage (Franklin)
- Recreation (Franklin)
- Wetland Conservation (Franklin)
- Recreation (Waikato)
- Heavy Industrial (Waikato)
- Industrial 2 (Franklin)
- Industrial Services (Franklin)
- Light Industrial (Franklin)
- Industrial Park (Waikato)
- Light Industrial (Waikato)
- Industrial (Franklin)
- Maioiro Mining (Franklin)
- Aggregate Extraction (Franklin)
- Timber Processing (Franklin)

Industrial

Cultural

- Pa (Waikato)
- Residential (Franklin)
- Living (Waikato)
- Residential 2 (Franklin)
- New Residential (Waikato)
- Living Zone Te Kauwhata Ecological (Waikato)
- Living Zone Te Kauwhata West (Waikato)
- Village (Franklin)
- Rural-Residential (Franklin)
- Country Living (Waikato)
- Coastal (Franklin)
- Coastal (Waikato)
- Rural (Franklin)
- Rural (Waikato)

Residential

High Density

Low Density

Agriculture Production

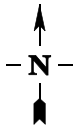
Map Information

Copyright & Disclaimer - Cadastre boundaries sourced from Land Information New Zealand under CC-BY. Graphical representations of the District Plan rules have been derived from various sources; the representations are to the best of knowledge. Exact boundaries may require further investigation, please direct enquiries to the Planning and Strategy Team, districtplan@waicd.govt.nz

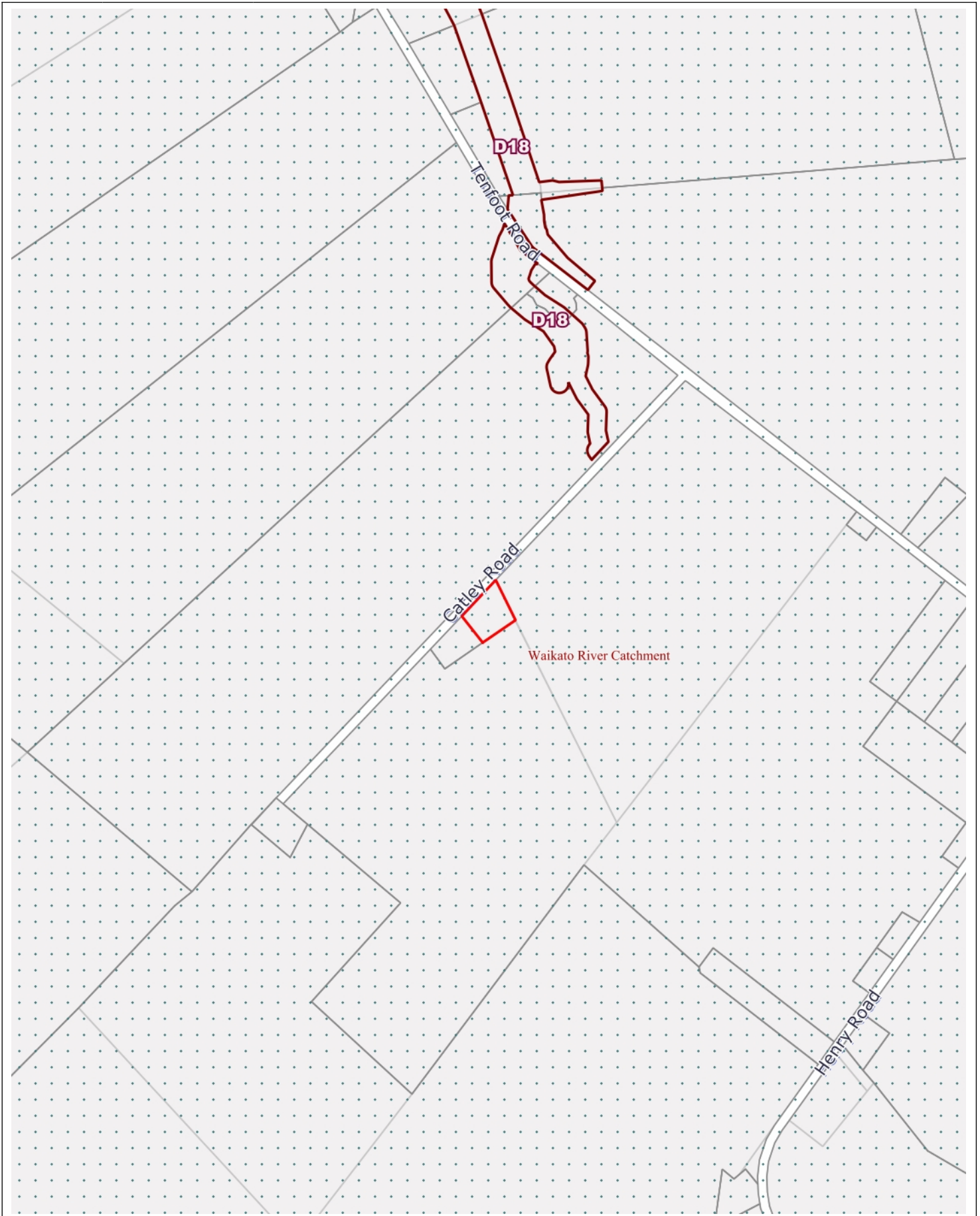
Map Coordinates - the grid coordinates, provided as easting and northing values, measured in metres, use the New Zealand Transverse Mercator 2000 projection grid coordinates. Eastings are labelled on the top and bottom margins, the values increase towards the east. Northings are labelled on the lateral margin. Their values increase towards the north. For example, the value 5884321 is read as 5884 km and 321 m. 1:50 000 maps are marked at 4 km intervals, the area of a grid is 16 square km or 1600 hectares.

On the overview map the following town abbreviations have been used; Pokeno as Pok, Te Kauwhata as TeK, Huntly as Hun, Ngaruawahia as Noa and Raglan as Rag

Map Information



Waikato Proposed Plan





Waikato Proposed District Plan Legend

<p>Notified Overlays</p> <p>Legal Effect Overlays</p> <ul style="list-style-type: none"> Heritage Item Maaori Area of Significance Maaori Site of Significance Significant Natural Area (SNA) Designation <p>Heritage</p> <ul style="list-style-type: none"> Battlefield View Shaft Heritage Precinct Notable Tree <p>Tangata Whenua</p> <ul style="list-style-type: none"> Waikato River Catchment <p>Infrastructure</p> <ul style="list-style-type: none"> Walkway Cycleway Bridleway National Grid Indicative Road Segregation Strip Raglan Navigation Beacon Gas Line <p>Built Environment</p> <ul style="list-style-type: none"> Airport Noise Outer Control Boundary Airport Subdivision Control Boundary Airport Noise SEL95 Boundary Airport Obstacle Limitation Surface Noise Control Boundary (Waikato Gun Club) Airpark Noise Buffer (Te Kowhai) Acoustic Area (Horotiu) Airside Overlay Urban Expansion Area Specific Area/Activity Residential West Te Kauwhata Residential Ecological Te Kauwhata Development Precinct	<p>Commercial</p> <ul style="list-style-type: none"> Tamahere Commercial Area Business Overlay Area Verandah <p>Mining & Minerals</p> <ul style="list-style-type: none"> Coal Mining Area Aggregate Extraction Area Aggregate Resource Area <p>Natural Environment</p> <ul style="list-style-type: none"> Urban Allotment Outstanding Natural Features Coastal Environment Outstanding Natural Landscapes Natural Character Environmental Protection Area Significant Amenity Landscapes Hamilton Basin Ecological Management Area <p>Notified Zone</p> <ul style="list-style-type: none"> Residential Rangitahi Peninsula Village Country Living Rural Business Business Town Centre Business Tamahere Industrial Heavy Industrial Reserve Te Kowhai Airpark Motorsport and Recreation Road
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The cadastre shown on the planning maps is not part of the information in the district plan. It has been provided on the planning maps as an additional function to enhance navigability and search capability. The cadastre was based on the most recent information held by council at the date the maps were produced, sourced from Land Information New Zealand. Establishing compliance or otherwise with the plan may require formal survey.

The District boundary is as defined in the Resource Management Act, which uses the definition from the Local Government Act. The line on these maps representing the District boundary is indicative and for information purposes only. The actual boundary is as defined in the legislation. Determining right and obligations under the District plan where the District boundary is relevant many require a formal survey.

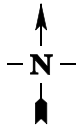
The District planning maps are at a scale of 1:5000, 1:10000 and 1:50000. Use at any other scale than specified on each map is for information purposes only, and does not form part of the District Plan.

For information, acknowledgements and disclaimers relating to external sources used in the planning maps please see the data sources page

<https://data.waikatodistrict.govt.nz>

Projection: New Zealand Transverse Mercator

Datum: New Zealand Geodetic Datum 2000

































Utilities Plan


65 Catley Road ORINI





















Water Supply

-  Water Supply
-  WS Pumpstation
-  WS Valves
-  AIR
-  BUTTERFLY
-  CHECK/NON RETURN
-  CLAYTON+PR
-  FLUSHING Scour
-  GATE or PEET
-  SLUICE
-  Other Valve
-  WS Point
-  Chamber
-  Connection
-  Dummy Node
-  Meter
-  Sampling Point
-  Toby
-  Water Treatment
-  Fittings
-  Flush Point
-  Hydrant
-  WS Line
-  Mains 100
-  Mains 200
-  Mains 300
-  Suction Duct Scour
-  Aerial Main
-  Service
-  WS Plant

Waste Water

-  Waste Water
-  WW Point
-  Flow Meter
-  Flush Point
-  Chamber
-  Manhole
-  WWTP Pond
-  TP WW Pump Station
-  Fittings
-  WW Treatment Plant
-  WW Valves
-  Air Valve
-  Check & Non Return Valve
-  FLUSHING Scour
-  Gate & Bypass Valve
-  Sluice Valve
-  Valve
-  Valve - Butterfly
-  Valve Chamber
-  WW Pumpstation
-  WW Line
-  Gravity 100
-  Gravity 200
-  Gravity 300
-  Rising Main 100
-  Rising Main 200
-  Rising Main 300
-  Service
-  Aerial main
-  Other
-  WW Plant

Storm Water

-  Storm Water
-  SWPoint
-  Catchpit
-  Inlet
-  Manhole
-  Valve
-  Other
-  SW Plant
-  SW Pumpstation
-  SW Line
-  Catchpit Lead
-  Gravity Main upto 200
-  Gravity Main upto 300
-  Gravity Main > 300
-  Service
-  Other
-  Rising Main
-  Drainage District Boundary

UTILITIES